



336 Pacific Avenue, Shafter, CA 93263
Meeting Held In-Person and Via Zoom and Livestream on YouTube.

**AGENDA
REGULAR MEETING
SHAFTER PLANNING COMMISSION
TUESDAY, MAY 9, 2023**

TELECONFERENCE NOTICE:

As emergency conditions persist in the City, specifically, a state of emergency remains in effect related to COVID-19, community transmission of COVID-19 in Kern County has rapidly increased from Low to High due to the highly contagious variants of COVID-19, which has emerged, Kern County officials are imposing and recommending measures to promote social distancing, requires masking by all, regardless of vaccination status, in an effort to slow the continuously high trends in and level of transmission of COVID-19 throughout the State and Kern County. The City Council determine that the presence of COVID-19 and the increase of cases due to the COVID variants will continue to cause conditions of peril to the safety of persons within the City that are likely to be beyond the control of services, personnel, equipment, and facilities of the City, and has affirmed a local emergency exists and re-ratified the proclamation of state of emergency by the Governor of the State of California. In compliance with AB 361, Brown Act public meetings will be conducted utilizing Zoom Video Communications.

Remote public participation is allowed in the following ways, please see attached supplement for instructions.

CALL TO ORDER:	6:00 PM
PLEDGE OF ALLEGIANCE:	Commissioner Piuser
INVOCATION:	Chairman Sanchez
ROLL CALL:	Chairman Sanchez Vice Chairman Frantz Commissioner Joshan Commissioner Piuser Commissioner Wiebe

APPROVAL OF AGENDA:

MINUTES OF PREVIOUS MEETING:

1. Approval of Minutes: April 11, 2023.

PUBLIC COMMENT:

This portion of the meeting is reserved for persons wanting to address the Commission only on matters not listed on this agenda. Speakers are limited to five minutes unless additional time is needed for translation. Please state your name and address for the record before making your presentation.

PUBLIC HEARING:

Should anyone challenge any proposed action which is the subject of a public hearing listed on this agenda, that person challenging any action taken after the public hearing may be limited to raising only those issues addressed at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at or prior to this public hearing.

1. **Specific Plan Amendment No. 22-06 (Orchard Park Specific Plan):** Planning Commission conduct a public hearing; and adopt Resolution No. 23-424, a resolution of the Planning Commission of the City of Shafter making findings and recommending the City Council of the City of Shafter adopt the Amendment (Specific Plan Amendment No. 22-06) to the Orchard Park Specific Plan as provided in Exhibit "A". (Planning Director Esselman)

ROLL CALL

2. **Specific Plan Amendment No. 23-07 (Gossamer Grove Specific Plan PA-2 & PA-3):** Planning Commission conduct a public hearing; and adopt Resolution No. 23-425, a Resolution of the Planning Commission of the City of Shafter making findings and recommending the City Council of the City of Shafter adopt the Amendment (Specific Plan Amendment No. 23-07) to the Gossamer Grove Specific Plan as provided in Exhibit "A". (Planning Director Esselman)

ROLL CALL

3. **Zone Change No. 23-71:** Planning Commission conduct a public hearing; and adopt Resolution No. 23-426, a Resolution of the Planning Commission of the City of Shafter recommending the City Council adopt Zone Change No. 23-71 as described in Exhibit "A" and illustrated in Exhibit "B", to the City Council of the City of Shafter. (Planning Director Esselman)

ROLL CALL

COMMISSIONER REPORTS:

ADJOURNMENT:

Pursuant to the Americans with Disabilities Act, if you need special assistance to participate in a City Council Meeting, please contact the City Clerk at (661) 746-5000 at least three (3) days prior to the meeting or time the special services are needed to allow City staff in making reasonable arrangements to provide you with access to the meeting. Any public record, relating to an open session agenda item, that is distributed within 72 hours prior to the meeting is available for public inspection in the City Clerk's Office at Shafter City Hall, 336 Pacific Ave., Shafter, CA 93263. This is to certify that

this Agenda notice was posted at City Hall and Police Dept. by 5:00 p.m., May 4, 2023.
Yazmina Pallares, S/S, City Clerk



336 Pacific Avenue, Shafter, CA 93263
Meeting Held In-Person and Via Zoom and Livestream on YouTube

**AGENDA
SUPPLEMENT
Regular Meeting
Shafter Planning Commission
May 9, 2023**

**THE May 9, 2023 MEETING WILL BE CONDUCTED IN COMPLIANCE
WITH AB 361**

In order to minimize the spread of the COVID 19 virus, please do the following:

1. You are strongly encouraged to observe the Planning Commission meetings live via YouTube <https://www.youtube.com/user/CityofShafter/>
2. If you wish to make a comment on a specific agenda item or public comment, please submit your comment via email by **6:00 PM on May 9, 2023** to the City Clerk at CityClerk@shafter.com
3. If you wish to make a written comment to the City Clerk, 336 Pacific Avenue, Shafter, CA 93263.
4. If you wish to make a comment during the live meeting, callers must first register with the City Clerk at 661-746-5012 before the meeting begins to receive instructions and the call- in number and code. Please call by 5:00pm on the Monday prior to the Planning Commission meeting to allow ample time for sign up. You will need to provide your name, phone number and the item number you wish to address.
5. All public comments are provided to the Planning Commission and applicable Staff, for review and consideration by the Board prior to taking action on any matters listed on the agenda and are incorporated into the official record of the Planning Commission meeting.

The City of Shafter thanks you in advance for taking all precautions to prevent spreading the COVID 19 virus.

**MINUTES OF THE REGULAR MEETING OF THE
SHAFTER PLANNING COMMISSION
COUNCIL CHAMBER, 336 PACIFIC AVENUE
MEETING HELD IN-PERSON AND VIA ZOOM AND LIVESTREAM TO YOUTUBE
TUESDAY, APRIL 11, 2023**

Pursuant to AB 361 Issued by Governor Gavin Newsom on September 20, 2021 and, to the extent applicable, Government Code Section 54953(e), this meeting was held as a Virtual Meeting via Zoom and livestreaming to YouTube Live.

CALL TO ORDER: 6:00 PM

PLEDGE OF ALLEGIANCE: Commissioner Wiebe

INVOCATION: Vice Chairman Frantz

ROLL CALL:

PRESENT(In-Person): Chairman Sanchez, Vice Chairman Frantz, Commissioners Joshan, Piuser, and Wiebe. Also present: Planning Director Esselman and Deputy City Clerk Uribe.

APPROVAL OF AGENDA:

MOVED (FRANTZ) AND SECONDED (WIEBE) COMMISSIONERS APPROVED THE AGENDA AS PRESENTED. MOTION CARRIED BY THE FOLLOWING VOTE:

AYES: FRANTZ, JOSHAN, PIUSER, SANCHEZ, AND WIEBE.

NAYS: NONE.

ABSENT: NONE.

ABSTENTIONS: NONE.

MINUTES OF PREVIOUS MEETING:

1. Approval of Minutes: March 14, 2023.

MOVED (WIEBE) AND SECONDED (PIUSER) COMMISSIONERS APPROVED THE MINUTES OF THE REGULAR MEETING OF MARCH 14, 2023 AS PRESENTED. MOTION CARRIED BY THE FOLLOWING VOTE:

AYES: FRANTZ, JOSHAN, PIUSER, SANCHEZ AND WIEBE.

NAYS: NONE.

ABSENT: NONE.

ABSTENTIONS: NONE.

PUBLIC COMMENT:

There were no members of the public wishing to speak.

PUBLIC HEARING:

Should anyone challenge any proposed action which is the subject of a public hearing listed on this agenda, that person challenging any action taken after the public hearing may be limited to raising only those issues addressed at the public hearing described in this notice, or in written

correspondence delivered to the Planning Commission at or prior to this public hearing.

- 1. Conditional Use Permit No. 23-135:** Planning Director Esselman made introductory comments. A notice of public hearing was properly advertised.

Chairman Sanchez opened the public hearing.

Being no members of the public wishing to speak, the public hearing was closed.

MOVED (JOSHAN) AND SECONDED (WIEBE) COMMISSIONERS CONDUCTED A PUBLIC HEARING; AND ADOPTED RESOLUTION NO. 23-423, A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SHAFTER APPROVING CONDITIONAL USE PERMIT NO. 23-135 TO ALLOW A 65-FOOT MONOPINE WIRELESS TELECOMMUNICATIONS AND PUBLIC UTILITY FACILITY LOCATED ON ACCESSOR'S PARCEL NUMBER (APN) 028-251-09 WITH A RECIPROCAL ACCESS AND UTILITIES EASEMENT LOCATED ON APN 028-251-10. MOTION CARRIED BY THE FOLLOWING VOTE:

AYES: FRANTZ, JOSHAN, PIUSER, SANCHEZ AND WIEBE.

NAYS: NONE.

ABSENT: NONE.

ABSTENTIONS: NONE.

COMMISSIONER REPORTS: There were no Commissioner Reports.

ADJOURNMENT:

MOVED (FRANTZ) AND SECONDED (PIUSER) COMMISSIONERS ADJOURNED THE MEETING AT 6:10 P.M. MOTION CARRIED WITH NO OPPOSITION.

John Sanchez, Chairman

ATTEST:

Vanessa Uribe, Deputy City Clerk

DATE: May 9, 2023
TO: Planning Commission
FROM: Planning Department
SUBJECT: Specific Plan Amendment No. 22-06 (Orchard Park Specific Plan)

RECOMMENDATION:

Planning Commission conduct a public hearing; and adopt Resolution No. 23-424, a resolution of the Planning Commission of the City of Shafter making findings and recommending the City Council of the City of Shafter adopt the Amendment (Specific Plan Amendment No. 22-06) to the Orchard Park Specific Plan as provided in Exhibit "A".

APPLICANT

LGI Homes – California, LLC
495 E. Rincon Street, Suite 101
Corona, CA 92879

OWNER

LGI Homes – California, LLC
495 E. Rincon Street, Suite 101
Corona, CA 92879

Dennis and Janice Handel Family Trust
413 Central Avenue
Shafter, CA 93263

LOCATION: The Orchard Park Specific Plan area is bound by E. Fresno Avenue to the north, Golds Avenue to the east, E. Tulare Avenue to the south, and Beech Avenue to the west. See **Exhibit 1**.

PROJECT DATA:

1. General Plan Designation: The current land use designation on the project site is SP (Specific Plan). The surrounding property is VLDR (Very Low Density residential) to the north, east, and south, and VLDR and PS (Parks and Schools) to west.
2. Zoning: The current zoning on the project site is SP (Specific Plan). The surrounding property is E (Estate) and County lands to the north; A (Agricultural) to the east; PUD (Precise Unit Development), R-1 (Low Density Residential), and E to the south; and R-1 to the west.
3. Acreage: Approximately 140 acres

PROJECT ANALYSIS:

LGI Homes – California, LLC (LGI) is requesting to amend the Orchard Park Specific Plan to:

1. Revise maximum floor areas of proposed homes and rear yard setbacks based on lot size,
2. Limit homes less than 1,800 square feet to a maximum mix of 33% of the total homes to be built on 8,500 square foot lots,
3. Limit homes less than 2,000 square feet to a maximum mix of 33% of the total homes to be built on 9,500 square foot lots,
4. Limit homes less than 2,200 square feet to a maximum mix of 60% of the total homes to be built on 10,800 square foot lots,
5. Place the required retention basin in new locations within the Specific Plan area,
6. Revise the architectural designs for the proposed housing, and
7. Remove the plant palette to provide flexibility in designing the landscaping for the Specific Plan area.

The proposed revisions to the Specific Plan provide greater flexibility to the developer regarding maximum floor areas for the new homes and setbacks. Allowing for a mix of reduced sized homes, which fosters greater affordability within the Specific Plan area.

The revisions also separate the one retention basin into two smaller basins and place them in new locations; this revision is needed because LGI plans to develop the western portion of the Specific Plan area first and therefore, a basin on the western portion of the area is needed to capture stormwater flows prior to leaving the western developed portion to be developed first. Currently, there are no plans to develop the eastern portion of the Specific Plan area by the Dennis and Janice Handel Family Trust.

Additionally, LGI is requesting revisions to the architectural design of the homes to be in-line with the existing housing products LGI builds.

Finally, LGI is requesting removal of the plant palette to provide greater flexibility in designing the Specific Plan's landscaping. The current plant palette was developed over 15 years ago and the revision would allow more flexibility in incorporating drought-resistant plants into the landscape. Prior to site plan approval, LGI would have to submit a landscape plan to be approved by both the Planning and Public Works Departments that calls out the types of plants that would be used for landscaping the Specific Plan area.

The amendment does not change the maximum allowable dwelling units of 440 within the Specific Plan area or the planned central park with pedestrian paseos that have already been environmentally cleared and approved by previous discretionary actions by the Planning Commission and City Council. Additionally, the drill island will remain in essentially the place as was previously approved.

Although LGI is the applicant for the project, the Specific Plan area has two owners and therefore, staff reached out to authorized representatives of the Dennis and Janice Handel Family Trust to determine if the Trust approves of and agrees with the proposed changes. The authorized representatives have provided staff with written acknowledgement that the Trust approves of and agrees with the changes to the

Specific Plan proposed by LGI. See **Exhibit 2**.

SPECIFIC PLAN CONSISTENCY:

The proposed changes are consistent with the adopted Orchard Park Specific Plan. The amendment consists of minor revisions to the Specific Plan do not result in inconsistencies with the Specific Plan as initially conceived.

CEQA:

The amendment is within the scope and intensity of the original Orchard Park Specific Plan analyzed in the Addendum to the Program Environmental Impact Report for the 2005 City of Shafter General Plan Update (SCH No. 2004101029) (Addendum) approved by Ordinance No. 06-583 by the City Council on August 1, 2006. The Addendum adequately describes the environmental effects of developing the Specific Plan area. Additionally, the amendment does not change the maximum allowable dwelling units of 440 within the Specific Plan area or the planned central park with pedestrian paseos that have already been environmentally cleared and approved by previous discretionary actions. Therefore, per Section 15061(b)(3) of the California Environmental Quality Act Guidelines (commonly referred to as the “Common Sense exemption”), it can be seen with certainty that the action will not cause a significant effect on the environment, and therefore, the action is not subject to CEQA.

ATTACHMENTS

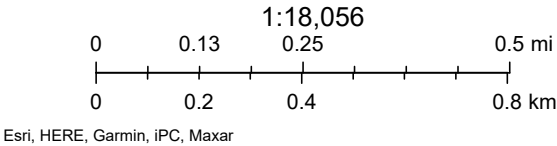
EXHIBIT

Vicinity Map	1
Dennis and Janice Handel Family Trust Letter	2
Resolution No. 23-424	3



3/20/2023, 11:48:07 AM

- Site
- City Limits
- Road Centerlines
- Arterial
- Collector
- Highway
- Local



April, 12. 2023

City of Shafter
Mr. Steve Esselman, Planning Director
336 Pacific Avenue
Shafter, CA 93263

RE: Specific Plan for Orchard Park – LGI Homes

Dear Steve,

In reference to the above concerning the future development of Orchard Park, we as the owners of the adjacent East half approve and agree to the changes made to the Specific Plan for Orchard Park. The project encompasses Fresno Ave, Beech Ave and Tulare Ave in the city of Shafter. These changes were reviewed with you today in person at the Planning Department.

Thank you,

Dennis Handel

Janice Handel

Dennis and Janice Handel Family Trust
Dennis Handel
Janice Handel

RESOLUTION NO. 23-424

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SHAFTER MAKING FINDINGS AND RECOMMENDING THE CITY COUNCIL OF THE CITY OF SHAFTER ADOPT THE AMENDMENT (SPECIFIC PLAN AMENDMENT NO. 22-06) TO THE ORCHARD PARK SPECIFIC PLAN AS PROVIDED IN EXHIBIT “A”.

WHEREAS, LGI Homes – California, LLC is requesting an amendment to the adopted Orchard Park Specific Plan (“Project”) to:

- (1) Revise maximum floor areas of proposed homes and rear yard setbacks based on lot size,
- (2) Limit homes less than 1,800 square feet to a maximum mix of 33% of the total homes to be built on 8,500 square foot lots,
- (3) Limit homes less than 2,000 square feet to a maximum mix of 33% of the total homes to be built on 9,500 square foot lots,
- (4) Limit homes less than 2,200 square feet to a maximum mix of 60% of the total homes to be built on 10,800 square foot lots,
- (5) Place the required retention basin in new locations within the Specific Plan area,
- (6) Revise the architectural designs for the proposed housing, and
- (7) Remove the plant palette to provide flexibility in designing the landscaping for the Specific Plan area; and

WHEREAS, the Planning Commission had determined that the Project is exempt from the California Environmental Quality Act (CEQA) per Section 15061(b)(3) of the CEQA Guidelines because the Project is within the scope and intensity of the original Orchard Park Specific Plan analyzed in the Addendum to the Program Environmental Impact Report for the 2005 City of Shafter General Plan Update (SCH No. 2004101029) (“Addendum”) approved by Ordinance No. 06-583 by the City Council on August 1, 2006; and

WHEREAS, the Planning Commission has determined that the Addendum adequately describes adequately describes the environmental effects of developing the Specific Plan area; and

WHEREAS, the Planning Commission has determined that, per Section 15061(b)(3) of the California Environmental Quality Act Guidelines, it can be seen with certainty that the action will not cause a significant effect on the environment, and therefore, the action is not subject to CEQA; and

WHEREAS, a timely and properly noticed public hearing for Specific Plan Amendment No. 22-06 was held by the Planning Commission of the City of Shafter at a regular meeting on May 9, 2023, at which hearing evidence, oral and documentary, was admitted on behalf of said Project.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Shafter, in regular session assembled on the 9th day of May, 2023, resolved to recommend to the City Council of the City Shafter approval of Specific Plan Amendment No. 22-06, as provided in Exhibit “A”, attached hereto, and made part of this resolution.

BE IT FURTHER RESOLVED that a copy of this Resolution be delivered forthwith by the Planning Commission Secretary to the City Council of the City of Shafter.

PASSED AND ADOPTED THIS 9th DAY OF MAY, 2023.

John Sanchez, Chairman

ATTEST

Vanessa Uribe, Deputy City Clerk

SPECIFIC PLAN



LGI Homes

Shafter, California

Prepared for

City of Shafter
336 Pacific Avenue
Shafter, California

Prepared by

LGI Homes, Inc.
495 E. Rincon St., Suite 101
Corona, CA 92879

May, 2023



FINAL SPECIFIC PLAN

SHAFTER, CALIFORNIA

May, 2023

Prepared for:

CITY OF SHAFTER
336 Pacific Avenue
Shafter, CA 93236
(661) 746-2065

Prepared by:

LGI HOMES, INC.
495 E. Rincon St., Ste. 101
Corona, CA 92879
(760) 296-7225



FINAL

ORCHARD PARK SPECIFIC PLAN

SHAFTER, CALIFORNIA

City Approvals:

Finding of CEQA Compliance

- Adopted by City Council Action, July 18, 2006
- Resolution No. 06-1848

General Plan Amendment No. 06-17

- Adopted by City Council Action, July 18, 2006
- Resolution No. 06-1849

Zone Change No. 06-40

- Adopted by City Council action
- Ordinance No. 06-582
- First Reading July 18, 2006
- Second Reading, August 1, 2006

Specific Plan Approval

- Adopted by City Council action
- Ordinance No. 06-583
- First Reading July 18, 2006
- Second Reading, August 1, 2006

Specific Plan Amendment No. 22-06

- Adopted by City Council action
- Ordinance No. XXX
- First Reading May 2, 2023
- Second Reading May 16, 2023



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I. INTRODUCTION

1.1 Purpose & Intent of the Specific Plan

The Orchard Park Specific Plan is intended to provide for the orderly and efficient development of the Specific Plan area in accordance with the provisions of the City of Shafter General Plan. It will establish the type, location, intensity and character of development, and the required infrastructure to support the planned land uses.

The purpose of the Orchard Park Specific Plan is two-fold:

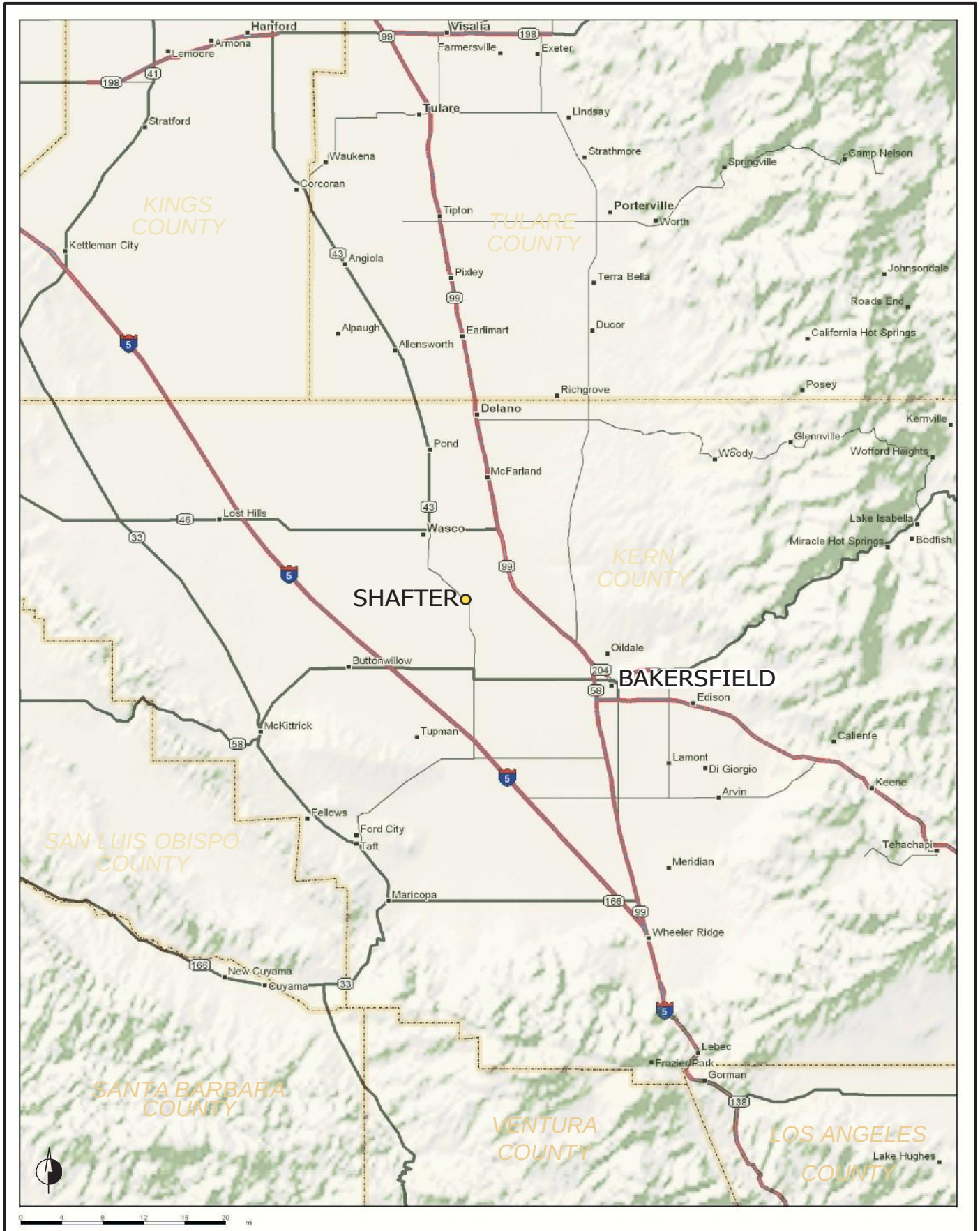
- To implement existing General Plan policies by presenting more detailed direction for future development of the Specific Plan area, and
- To establish project area land use, design guidelines, and implementation mechanisms applicable solely to the Orchard Park project.

The Orchard Park Specific Plan will provide parameters for establishing a cohesive planned development. This will be achieved by integrating the land use, intensity, and aesthetics of development with goals and policies of the General Plan and current market force realities for the community.

1.2 Organization of the Plan

The Specific Plan is organized into four principal sections, briefly described as follows:

- ***Section I Introduction:*** includes the document's purpose and intent, authority and scope, the project's description, and explains its relation to the General Plan.
- ***Section II Project Location & Setting:*** provides general information about the property, existing site conditions, and the Specific Plan's relationship to the General Plan and Zoning Map.
- ***Section III Community Development Plan:*** sets forth a master development plan for the property including a land use plan, circulation plan, community design plans, and infrastructure plans.
- ***Section IV Development Standards & Regulations:*** sets forth development standards and regulations for Orchard Park.
- ***Section V Design Guidelines:*** to assist in the implementation of the Specific Plan by providing an added level of definition for the Plan's design objectives and the intended development character.







- **Section VI Implementation:** sets forth the methods and procedures for implementation and administration of this Specific Plan, including financing and environmental review.

1.3 Project Summary

The Orchard Park project proposes to facilitate neighborhood development within the northeast quadrant of the city as a planned community with a mix of residential products, park areas and neighborhood linkages along with an oil production island and the improvement of street and infrastructure components. The Orchard Park Specific Plan area consists of approximately 140 acres (developable acreage net of perimeter street dedication) will provide for the following land uses: 1) up to 440 single family detached dwelling units located on approximately 129.3 acres, 2) approximately 6 acres of neighborhood park and paseos, and 3) approximately 4.7 acres of petroleum drill island.

Actions by the City of Shafter necessary to facilitate implementation of this proposed plan include the following:

- Completion of CEQA process for the proposed project,
- General Plan Amendment & Re-Zoning to SP – Specific Plan,
- Approval of this Specific Plan,
- Approval of a Tentative Tract Map to permit subdivision of the property,
- Development Plan Review approval for each individual implementing project.

The Orchard Park Specific Plan is designed in a manner which is sensitive to the site's environment and surrounding uses as well as its lifestyle objectives. A thorough investigation and analysis of the environmental factors affecting the site along with market demand factors were undertaken to provide a solid basis for land use planning decisions. As a result, the land use plan integrates this background analysis into a comprehensive development concept, which incorporates measures to compliment surrounding residential neighborhoods while at the same time providing a residential product mix supported by market demand. Comprehensive circulation and infrastructure components composed of streets, sewer, water and drainage facilities have been designed in an efficient manner to enhance implementation of the project and provide benefit to the larger community.

To establish and maintain a strong single family lifestyle, the project incorporates a high level of design quality in residential architecture, landscaping and open space/recreational amenities. The project will be developed utilizing complimentary architectural and landscape elements so that the project will have a discernable design continuity.

1.4 Authority and Scope

The Orchard Park Specific Plan has been prepared under the authority granted to the City of Shafter in accordance with the requirements of California Government Code, Title 7, Division 1, Article 8, Section 65450.



Section 65451 of the Government Code mandates that a specific plan contain the following:

- (a) A specific plan shall include a text and a diagram(s) which specify all of the following:
 - 1. The distribution, location, and extent of the uses of land including open space within the plan.
 - 2. The proposed distribution, location and extent of major transportation, sewerage, water, drainage, solid waste disposal, and energy components, and other essential facilities proposed to be located within the plan and needed to support the land uses proposed.
 - 3. Standards and criteria by which development will proceed, and standards for conservation, development, and utilization of natural resources, where applicable.
 - 4. A program of implementation measures including regulations, programs, public works, and financing measures necessary to carry out the plan.
- (b) The Specific Plan shall include a statement of the relationship of the specific plan to the General plan.

The following matrix (Table 1) describes how this specific plan meets these government code requirements.

TABLE 1
GOVERNMENT CODE – SPECIFIC PLAN CORRESPONDENCE TABLE

Govt. Code Requirements	Specific Plan Section
Requirement (a)	Incorporated within Sections I thru IV
Requirement (a) 1	Incorporated within Section III, <i>Community Development Plan</i>
Requirement (a) 2	Incorporated within Section III, <i>Circulation Plan</i> & Section III, <i>Infrastructure Plan</i>
Requirement (a) 3	Incorporated within Section IV, <i>Implementation</i>
Requirement (a) 4	Incorporated within Section IV, <i>Implementation</i>
Requirement (b)	Incorporated within Section I, <i>General Plan Consistency</i>



State Government Code also allows specific plans to be adopted either by resolution to establish a policy document or by ordinance to establish a regulatory document. The Orchard Park Specific Plan is intended to be adopted by the City of Shafter by ordinance, creating a project specific regulatory document for implementation of the plan. The regulations and standards of the Orchard Park Specific Plan supersede the corresponding City of Shafter Zoning Ordinance sections. Where the Orchard Park document is silent on a development issue, regulation, enforcement procedure, or if reference is made to a specific ordinance section, the applicable section(s) of the City of Shafter Zoning Code and/or other applicable ordinances shall prevail. Where the regulations and guidelines of this Specific Plan do not agree with City ordinances, the Orchard Park Specific Plan shall prevail.

1.5 General Plan Consistency

This Specific Plan has been prepared to provide the essential link between the City of Shafter General Plan policies and actual development within the Specific Plan area. By functioning as a regulatory document, the Orchard Park Specific Plan provides a means of implementing the City's General Plan through implementation of the Specific Plan land use provisions, development regulations and design guidelines.

More specifically, the Orchard Park Specific Plan is consistent with the General Plan Land Use Element objectives, policies, programs, and implementation by inclusion of residential land at a density less than allowed by the General Plan. The Circulation Element is being implemented by inclusion of roadways meeting design objectives, levels of service, and consistency with City adopted Public Works Standard Plans.

The General Plan identifies public park standards to be implemented in development proposals. The public parkland proposed in the Orchard Park Specific Plan is equal to or greater than the existing General Plan requirement. The General Plan also includes policies for visual quality. This community issue is addressed in the Specific Plan through the inclusion of community architectural design guidelines and landscape treatments.



II. LOCATION & SETTING

2.1 Project Location

The Orchard Park Specific Plan is located in the northeasterly portion of the City of Shafter. It is bounded on the north by Fresno Avenue, on the west by Beech Avenue, on the south by Tulare Avenue, and on the east by agricultural lands. It is approximately one-half mile north of Lerdo Highway and approximately one mile northeasterly of downtown Shafter.

2.2 Existing Site Conditions & Surrounding Uses

Historic & Existing Land Use

The historical use of the property has been for agricultural purposes. Currently the site is covered by Almond orchards with an oil drill island located on the southerly edge of the property fronting Tulare Avenue. (See Figure 3, *Aerial Photo*).

Circulation/Traffic

The existing vehicular access to the project site is provided by the following streets:

Fresno Avenue, an east-west arterial street within the northerly part of the city, provides access to the project site along its northern boundary. With an ultimate R-O-W of 110 feet, it is currently a two-lane road.

Beech Avenue, a north-south arterial street within the city provides access to the project site along its westerly boundary and also provides access southerly to Lerdo Highway. With an ultimate R-O-W of 110 feet, it is currently a two-lane road.

Tulare Avenue, an east-west major collector within the city provides access to the project site along its southerly boundary. With an ultimate R-O-W of 92 feet, it is currently a two-lane road.

Topography

The project site is relatively flat with a slight slope from northeast to southwest. No significant topographic features exist on the site.

Geology & Soils

The project site is located on alluvial deposits of substantial depths. Although there are no faults mapped near Shafter, several major faults exist within Kern County, primarily to the east and south. The area has not experienced major seismic activity; however, alluvium deposits are subject





to ground shaking damage. This risk can be mitigated with proper foundation design.

Biology

As a result of continued year-round agricultural activities on the site over many years, no native or significant biological resources are known to exist.

Flooding/Drainage

The project site is not within a 100-year floodplain; however, it is subject to localized shallow (sheet) flooding from overland flows due to few or no flood-flow conveyance structures. Typically, very little structural damage occurs with this type of flooding due to shallow and relatively slow velocities.

Noise

Noise levels in the project area are typical of suburban residential areas where noise levels range from 45 db to 55 db Ldn. These noise levels result primarily from traffic on local streets.

Visual

As a result of the relatively flat nature of the site along with the historic agricultural use of the property, the visual character of the property is basically open and undeveloped, with no distinguishing features. Due to the current use of the property for orchard crops, little visual penetration into the site is possible, and no views beyond the site are possible.

Water & Sewer

The site is not currently served by public water or sewer systems; however, these systems are located within relatively close proximity of the property. Water service is provided from a series of municipal wells and storage tanks which deliver water into a grid distribution system in streets within the city. Sewer conveyance would be provided by tying into a gravity line within Beech Avenue adjacent to the site.

Surrounding Land Uses

Agricultural uses predominate in the area of the city surrounding the project site. Immediately abutting the project site on its north, east, south, and a portion of its west boundaries are agricultural lands in either active production or currently lying fallow. Undeveloped Shafter High School property abuts the west side of the project across Beech Avenue. Existing residential subdivisions lie just southwesterly of the project site, south of Tulare and west of Beech. New residential development is occurring to the west at Fresno and Mannel Ave. as well as the recent establishment of a new elementary school (Sequoia Elementary at the northeast corner of Fresno & Mannel Ave).



2.3 Land Use & Zoning Designations

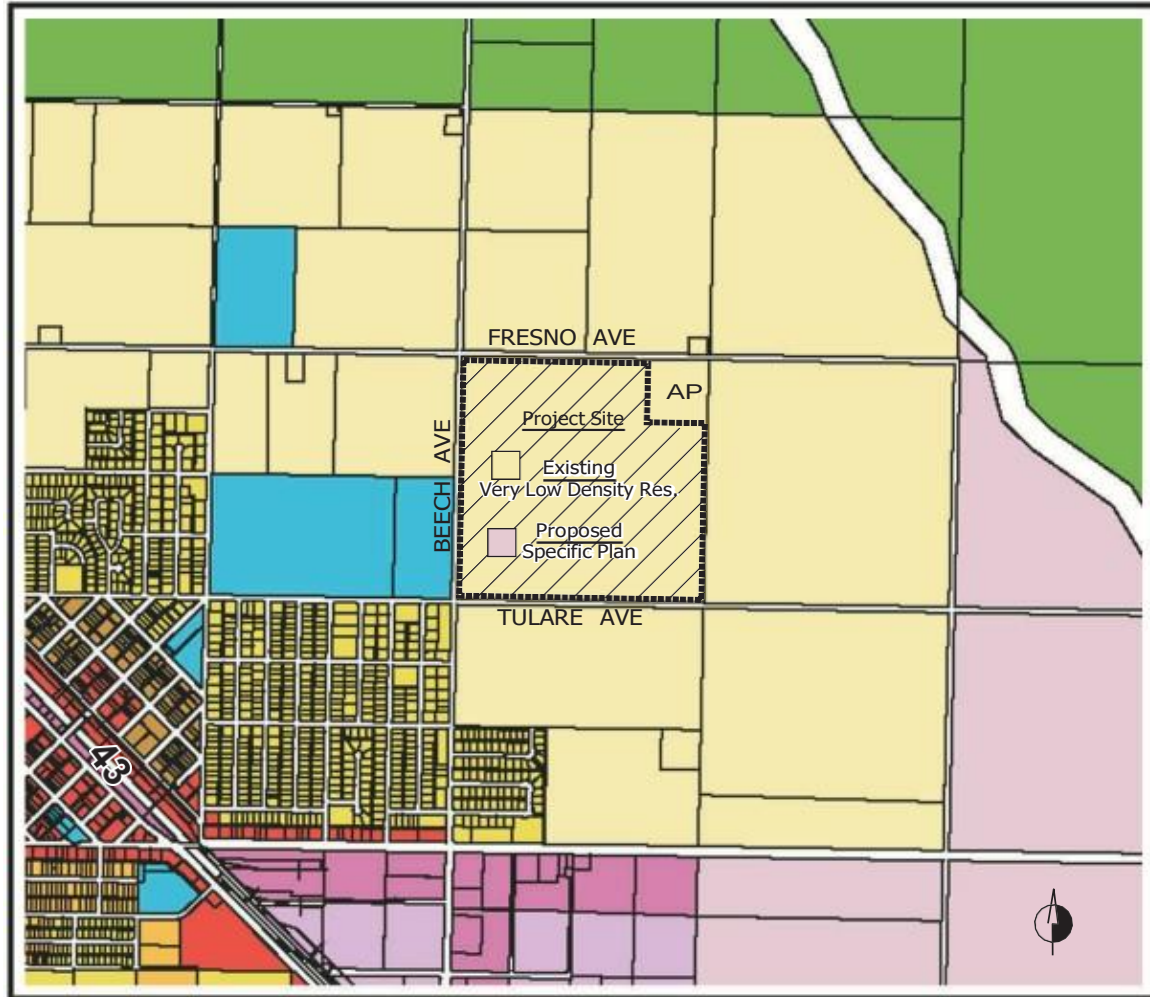
The Shafter General Plan update, adopted in June 2005, outlines goals, policies and standards for land use, development and environmental quality. This document designates both land use designations and a circulation network to serve the build-out of the community.

The General Plan land use designation for the project area is currently *Very Low Density Residential (3.5 DU/AC)*. Although the Orchard Park development proposal has been designed to fall within the Very Low-Density Residential density cap of 3.5 units/acre, the current residential designation is proposed to be amended to a *Specific Plan* land use designation.

The project area is currently zoned *A - Agriculture*. This current zoning designation is proposed to be re-zoned to *SP - Specific Plan*. Figure 4, *General Plan Land Use*, depicts existing and proposed General Plan designations for the site.

Based on current jurisdictional designations for the property as outlined above, a summary of the entitlement requests to allow development of the proposed project include the following:

- Completion of CEQA process for the proposed project,
- Approval of a concurrent General Plan Amendment to re-designate the project area from *Very Low Density Residential* to *Specific Plan*,
- Concurrent rezoning of the property from *Agriculture* to *Specific Plan*,
- Approval of a Specific Plan,
- Approval of a Development Agreement for the Specific Plan,
- Approval of a Tentative Tract Map to permit subdivision of the property, and
- Development Plan Review approvals for individual project developments.



LEGEND

	RURAL RESIDENTIAL (0.4 DU/AC)		SPECIFIC PLAN
	RURAL COMMUNITY (1 DU/AC)		BUSINESS PARK
	VERY LOW DENSITY RESIDENTIAL (3.5 DU/AC)		COMMUNITY FACILITIES
	LOW DENSITY RESIDENTIAL (5 DU/AC)		COMMERCIAL/PROFESSIONAL OFFICE
	MEDIUM DENSITY RESIDENTIAL (10 DU/AC)		INDUSTRIAL
	MEDIUM HIGH DENSITY RESIDENTIAL (20 DU/AC)		PARKS & SCHOOL
	AGRICULTURE/OPEN SPACE		RESOURCE MANAGEMENT
			CANAL/RIGHT OF WAY



III. COMMUNITY DEVELOPMENT PLAN

3.1 Development Plan Summary

The Orchard Park development is a planned residential community containing a maximum of 440 dwelling units with public park and recreational facilities. The community is planned around a central park with pedestrian paseos providing linkages both within the plan as well as to Fresno Avenue on the north and Tulare Avenue on the south. A mix of lot sizes and single-family home sizes are envisioned in the plan to respond to market forces and to provide a variety of housing opportunities within the city.

3.2 Design & Development Objectives

A number of important factors were considered during the preparation of the plan. These factors include the updated 2005 General Plan, engineering feasibility, market forces, economic viability, lifestyle objectives, and physical design quality. Additionally, the desire to create a greater inventory of move-up, second-time buyer, and third-time buyer homes was factored into the community design considerations. These factors led to the identification of the following list of project design and development objectives:

- Set forth a development plan that implements the City of Shafter General Plan development goals for this portion of the city.
- Anticipate and provide for the needs of the community residents through the timely construction of facilities and services.
- Provide areas for active and passive recreation.
- Provide a comprehensive circulation system that includes vehicular circulation, pedestrian walks, and bike paths.
- Ensure a high-quality lifestyle by providing public facilities such as a neighborhood park and paseos, and high-quality architectural design.
- Provide a mix of market rate residential products and densities in neighborhood clusters so that implementation of the plan can respond to changing market forces.
- Create visual diversity within the community through a mix of architectural styles.

3.3 Land Use Plan

The Plan area of approximately 140 acres is divided into two basic land use categories: 1) Detached Residential, and 2) Neighborhood Park. The land use designations also include an Oil & Gas Overlay which provides for a drill island within a portion of the Detached Residential land use area. This drill island currently has an operating well within it. The Oil & Gas Overlay designation is shown on the Land Use Plan but the actual drill island use acreage and location within the Overlay



will be determined at the Tentative Tract Map stage of development. The proposed *Land Use Plan* (Figure 5) illustrates the location of the proposed land uses. A statistical breakdown of proposed land uses is presented in Table 2, *Land Use Statistical Summary*.

At the Specific Plan level of detail, the land use arrangements and general acreages are depicted. The final layout and area calculations will be determined at the tentative tract map stage. While the acreages in the *Land Use Statistical Summary* (Table 2) are sufficient for Specific Plan purposes, adjustments in land use acreages and boundaries, as shown on Figure 5, *Land Use Plan* and Table 2, *Land Use Statistical Summary*, may occur as final road alignments, grading plans, final maps or other technical refinements are made, and shall not require a Specific Plan amendment.

3.3.1 *Detached Residential (DR)*

Detached Residential use is allocated to the majority of the Plan area, comprising approximately 92% of the land use plan. This area will contain a maximum yield of 440 single family detached dwelling units at a density of 3.5 units per gross acre.

The residential products planned for this area are detached homes of one and two stories on a mix of three different basic lot sizes. The lot size mix and typical lot configurations will include the following:

<i>Lot Size</i>	<i>Lot Configuration</i>	<i>Targeted Mix</i>
8,500 sq. ft.	70' X 122'	43%
9,500 sq. ft.	80' X 120'	32%
10,800 sq. ft.	90' X 120'	25%

The lot size and product footprints will provide for usable rear yards of varying depths to accommodate private outdoor use areas in addition to the neighborhood park recreation amenities.

The intent of the DR land use designation is to accommodate single family detached homes within the lot size mix outlined above, and within the maximum density of 3.5 units per acre designated for this area of the city in the General Plan update. The DR designation is intended to provide flexibility with product types and styles that will appeal to a range of “move up” and “upscale” market segments.

The maximum yield allowed within the Specific Plan is 440 units as shown in Table 2, *Land Use Statistical Summary*, and is intended to be developed as shown on the *Conceptual Lotting Plan* represented in Figure 6. However, a subsequently filed tentative subdivision map to implement the project may vary from this conceptual development plan so long as it implements the design concepts contained within the Specific Plan and

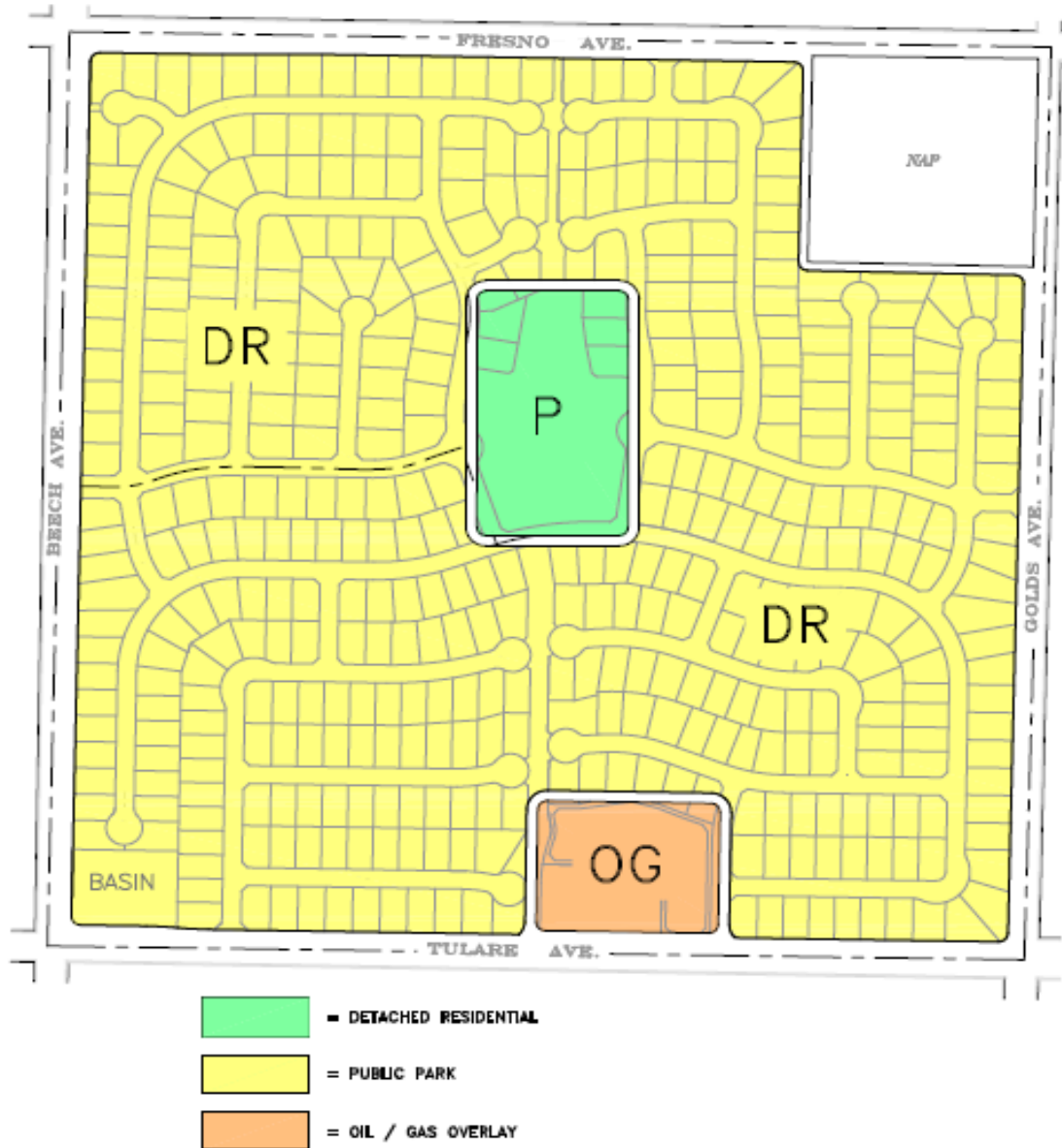


FIGURE 5

ORCHARD PARK SPECIFIC PLAN
TRACT 6614
LAND USE PLAN

SAN JOAQUIN ENGINEERING, INC.
Civil Engineering ♦ Land Development Services

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PHONE/FAX: (861)338-0877
EMAIL: BRAWSON@SJE2INC.NET



TABLE 2

**ORCHARD PARK SPECIFIC PLAN
LAND USE STATISTICAL SUMMARY**

LAND USE	PLAN DESIGNATION	ACRES¹	TARGET DENSITY (du/ac)²	MAXIMUM YIELD
DETACHED RESIDENTIAL Single Family Residential	DR	129.3	3.5	440 dus ³ .
PUBLIC PARK Neighborhood Park	P	6		
OIL & GAS Overlay Oil Production Facilities	OG	4.7		
TOTAL ACREAGE		140		
MAXIMUM RESIDENTIAL YIELD				440 dus

Notes:

¹ Developable acreage net of perimeter street dedication.

² Dwelling units per acre.

³ Subject to the percentage lot size mix defined in Section 3.3.1.

CONCEPTUAL LOTTING PLAN			
LOT SIZE	LOT CONFIGURATION	NO. OF LOTS	TARGET MIX
10,800	90 x 120	186	43%
9,500	80 x 120	134	32%
8,500	70 x 120	108	25%
TOTAL LOTS = 428			



FIGURE 6

ORCHARD PARK SPECIFIC PLAN
TRACT 6614
CONCEPTUAL LOTTING PLAN

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incorporates the central park and paseo elements as depicted in the conceptual plan.

3.3.2 Public Park (P)

The public park designation is allocated to a 5-acre site in the center of the plan area. This park facility will provide a focal point for neighborhood interaction and will provide for tot lot, picnic, and passive open turf uses. It will also be connected to the adjoining neighborhoods as well as Fresno and Tulare Avenues by a central north-south paseo (see Figure 6, *Conceptual Lotting Plan*, and Figure 8, *Conceptual Landscape Plan*). As shown in Figure 6, the park is intended to have public street frontage to provide both high visibility and access as well on-street parking. As a neighborhood park with a central location in the neighborhood, all homes within the neighborhood will have reasonable pedestrian access to the park.

As indicated above, the *Conceptual Lotting Plan* shows the design intent for the park as a central feature of the community with local street frontage and project entry streets terminating at the park. Subsequent tentative subdivision maps may alter this conceptual design as long as the paseo access and park street frontage concepts are included in more detailed design.

3.3.3 Oil & Gas Overlay (OG)

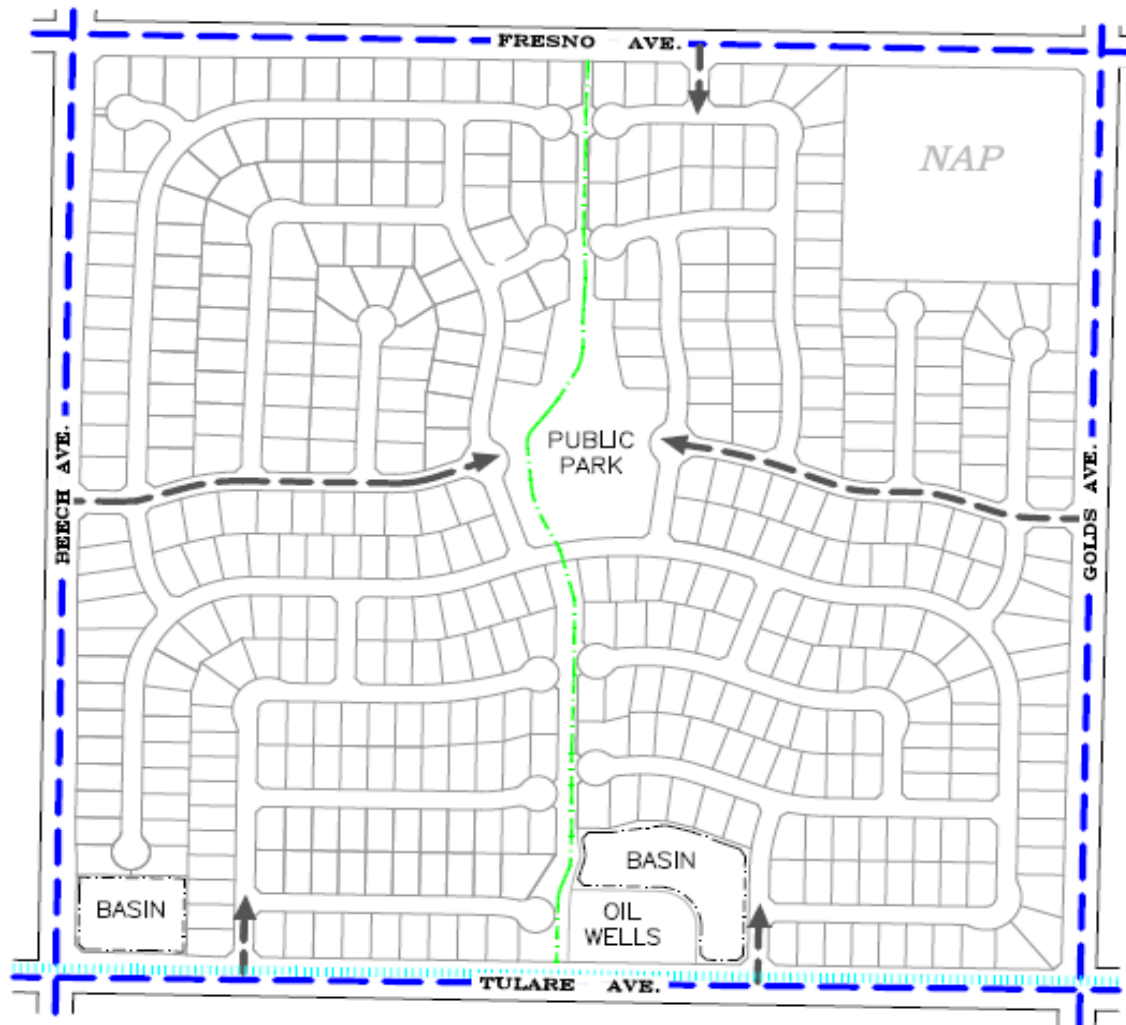
The Oil & Gas Overlay designation is allocated to approximately 4.7 acres along the southerly Tulare Avenue frontage of the property. This site currently contains one active oil well and will also contain drainage retention basins for the project. All oil and/or gas activity or development within this area shall be subject to review and approval in compliance with Chapter 9 of the City of Shafter Development Code.

3.4 Circulation

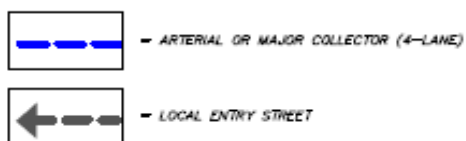
The *Circulation Plan* (shown in Figure 7) is intended to establish the general layout and design standards of streets for the Orchard Park community to safely meet the circulation needs of the residents and users of the plan area. The circulation concept consists of an internal street system focused on the central park and pedestrian linkages within the project area. This system has been developed to support the land use allocations proposed in the Plan. It should be noted that the conceptual circulation design incorporated in the Specific Plan is subject to revision based on more precise tentative tract map design analysis and final engineering design.



BEECH AVE.



VEHICULAR



NON VEHICULAR

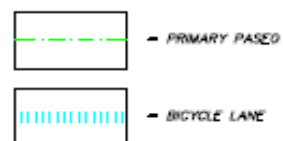


FIGURE 7

SUBSTANTIAL CONFORMANCE AMENDMENT
TRACT 6614
CIRCULATION PLAN

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3.4.1 *Vehicular System*

The vehicular circulation system consists of two primary components: 1) Arterial and Major Collector Streets abutting the site and providing access to the property, and 2) Local Streets internal to the community. These circulation system components are discussed as follows:

- **Arterial & Major Collector Streets**

Vehicular street access to the property is principally provided by Arterial and/or Major Collector Streets which currently abut the site on three sides. These facilities include Fresno Avenue, an arterial, on the north, Beech Avenue, an arterial on the west, and Tulare Avenue on the south, which is a Major Collector. A new Major Collector is planned for the easterly side of the property. These arterial and major collector streets will be improved to half-street standards at the time of Plan implementation.

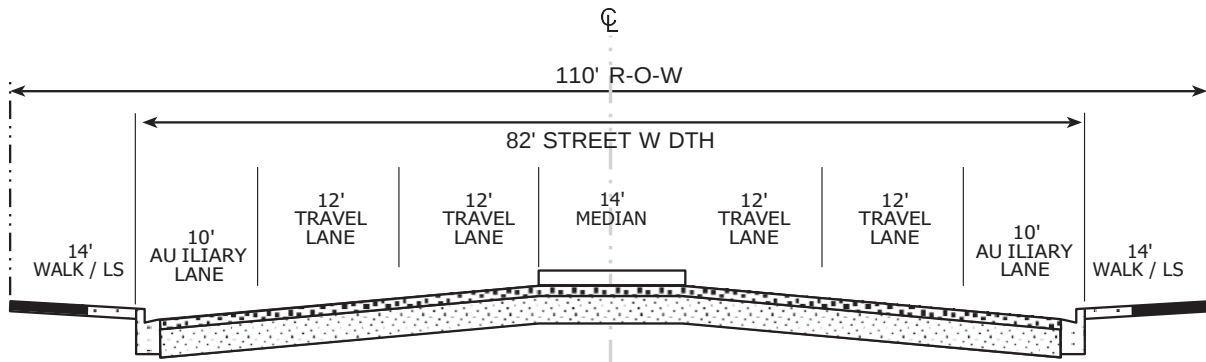
Design standards are described as follows, and street sections are shown in Figure 7a, *Street Sections*:

- ✓ *Arterial Streets* have an 82-foot pavement section with a 14-foot median to accommodate two 12-foot travel lanes in each direction and 10-foot auxiliary lanes on both sides, within a total right-of-way of 110 feet. No parking is allowed on these streets. A per lineal foot median landscaping fee will be collected as part of the Tentative Tract Map process and will be based on the City established fee at the time of map approval or as may be modified by the provisions of a project Development Agreement.
- ✓ *Major Collector Streets* will have a 68-foot pavement section to accommodate two 12-foot travel lanes in each direction and 10-foot auxiliary lanes on both sides, within a total right-of-way of 92 feet. No parking is allowed on these streets.
- ✓ A 5-foot sidewalk and 7-to-9-foot landscape buffer is provided along the perimeter of the project as part of the shoulder improvements.

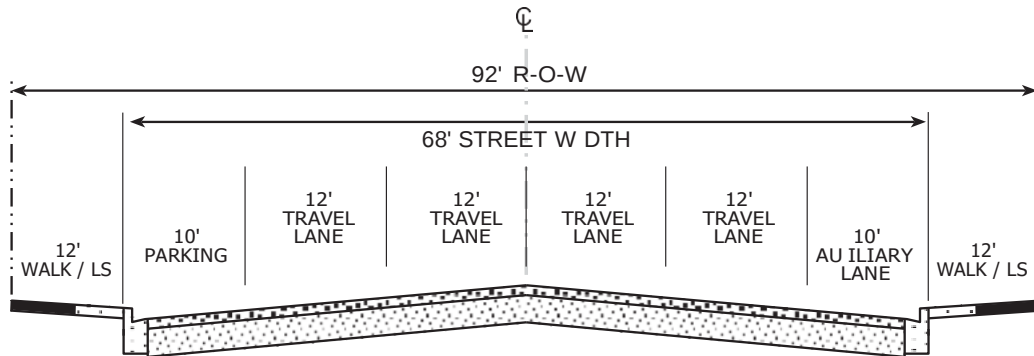
- **Local Streets**

Lots within neighborhoods will be accessed from local neighborhood streets. These streets will be designed to minimize through traffic within neighborhoods and provide multiple access points into the community. They will also provide internal linkages to neighbors and provide access to the central park recreation/open space amenity.

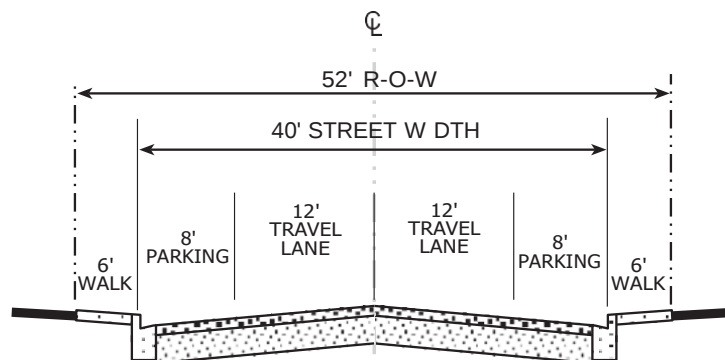
Two of these local streets have been designated as “local entry streets” on Figure 7 as they are intended to provide project entry access that penetrates all the way into the central park and terminate at vehicular roundabouts at the park edge. The



ARTERIAL STREET
FRESNO AVE.

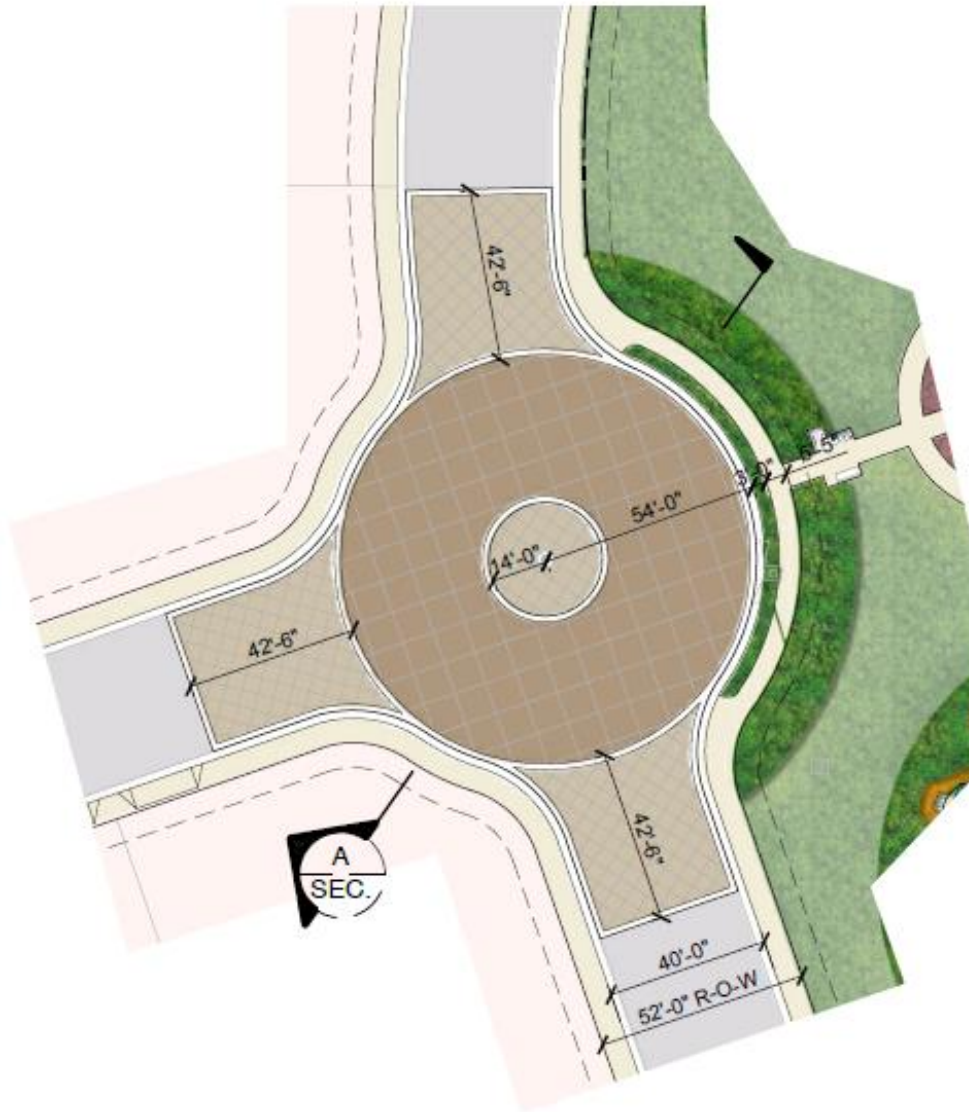


MAJOR COLLECTOR



LOCAL STREET

ROUND-ABOUT PLAN

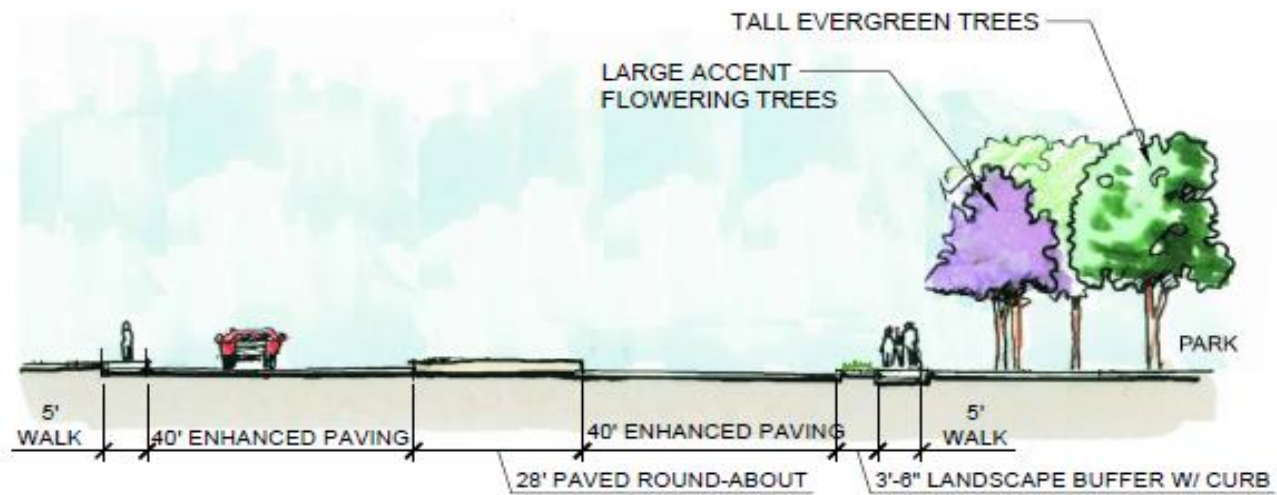


ORCHARD PARK
Shafter, California

FIGURE 7b
Round-About Plan



ROUND-ABOUT SECTION



ORCHARD PARK
Shafter, California

FIGURE 7c
Round-About Section



ORCHARD PARK
Shafter, California

FIGURE 7c
ROUND-ABOUT SECTION



conceptual round-about design is depicted in Figure 7b, *Round-About Plan*, and Figure 7c, *Round-About Section*.

Design standards are described as follows:

- ✓ *Local Streets* will have a 40-foot pavement section with one 12-foot travel lane in each direction and parking on both sides, within a total right-of-way of 52 feet.
- ✓ A 5-foot sidewalk is provided on both sides of the street abutting the back of curb.

3.4.2 *Non-Vehicular System*

The Plan includes a non-vehicular circulation system which is composed of two elements: 1) a system of pedestrian paseos or walkways, and 2) an on-street Class 2 bike lane consistent with the General Plan bicycle route planning for this portion of the city. These are described as follows and are depicted in Figure 7, *Circulation Plan*:

- ***Pedestrian Paseo***

The paseo system consists of a north-south paseo through the center of the project area which connects from Fresno Avenue on the north to the park in the center of the Plan, to Tulare Avenue on the south. This paseo provides pedestrian access from internal neighborhoods to the park and to other neighborhoods. See Figure 8b for paseo design details.

Design standards are described as follows:

- ✓ The paseo will have a minimum 20-foot width with a 6-foot meandering walk. The balance of the paseo width will be landscaped with trees and grass.

- ***Bicycle Lanes***

An on-street Class 2 bicycle lane will be provided within the Tulare Avenue right-of-way along the southerly boundary of the project as identified in the General Plan Circulation Element.

3.5 Community Structure

This section is focused on defining the community structure features that create unifying design elements within the community. These are primarily composed of landscape elements consisting of key streetscape treatments, entry statements, edge or buffer treatments, and park/recreation facilities. Conceptual landscape features are shown in Figure 8, *Conceptual Landscape Plan*. Landscape materials to be used within the landscape elements of the Plan will be approved by the Planning Department.

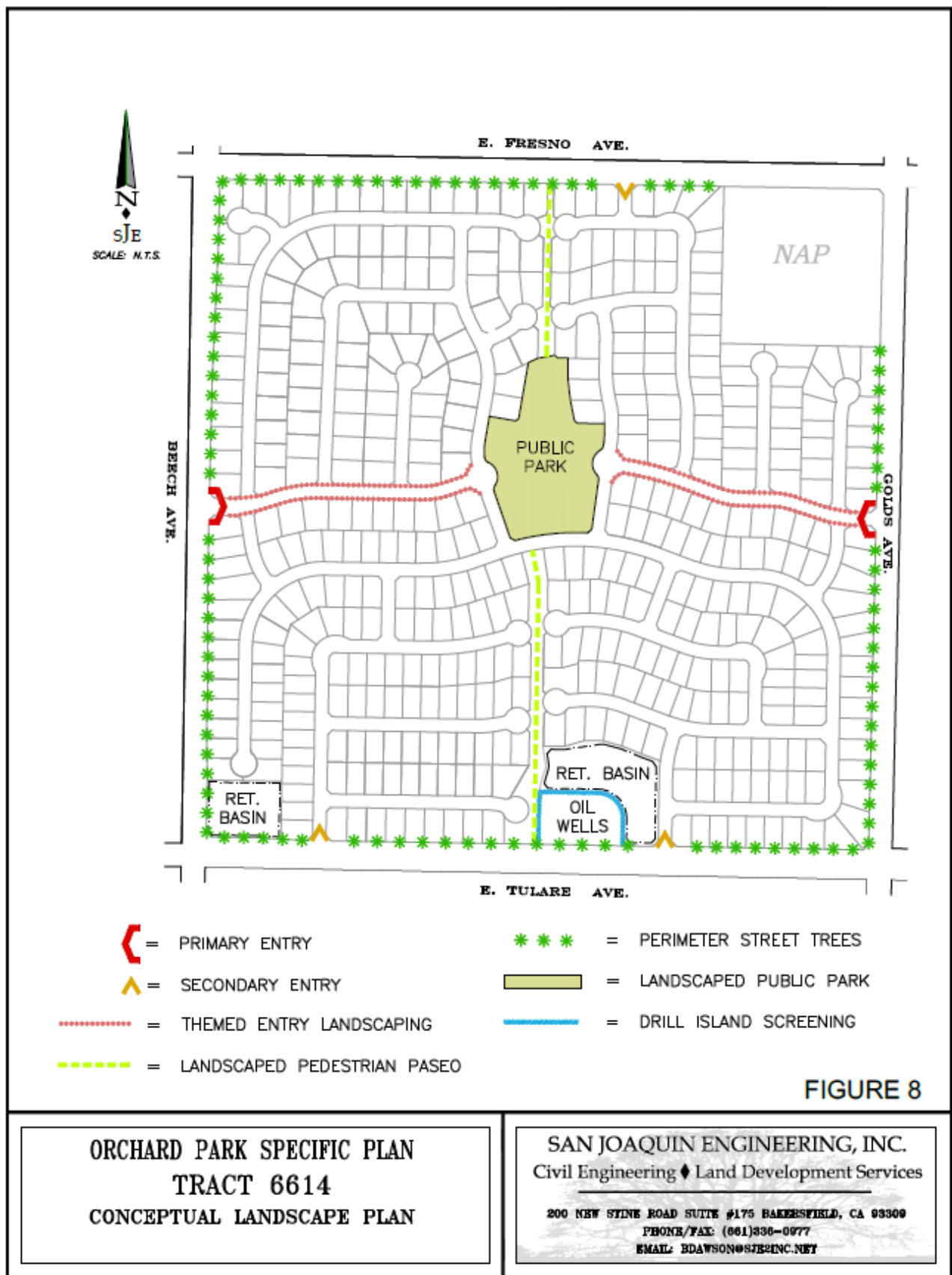


FIGURE 8

**FIGURE 8
CONCEPTUAL LANDSCAPE PLAN**

3.5.1 Key Streetscape Treatments

Key streetscape treatments will be implemented on the “Local Entry Streets” providing direct entry access to the central park, and along the Fresno, Beech and Tulare perimeter frontages of the project.

The “Local Entry Street” treatment will be comprised of an accent street tree unique to these streets, planted immediately at the back of the sidewalk at a uniform linear spacing of 40 feet on center, except where driveways require adjustment to this spacing. This street tree treatment will terminate at the street roundabouts abutting the central park. These roundabouts will have a specimen tree in the center and the same accent tree around them utilized in the project entry treatments at the entry end of these streets. The round-about landscape design is shown in Figure 8b, *Round-About landscape Detail*.

All street trees on Local Streets shall be planted similar to the “Local Entry Street” treatment, at the back of walk and at a lineal spacing of 40 feet on center, except where driveways require adjustments to this spacing. To maintain a coordinated landscape treatment throughout the project area, a uniform street tree species shall be selected by a licensed landscape architect. The same tree need not be used everywhere. If a number of planning areas are created through the conveyance map process or similar planning procedure, then different tree species may be used per planning area. All street trees shall be maintained by the City or City hired landscape maintenance company through the formation of a Landscape & Lighting District or other similar entity. Any subsequent subdivision mapping within the project area shall place a 6–8-foot linear easement over the front of lots at the back of sidewalks to facilitate maintenance access to the trees.

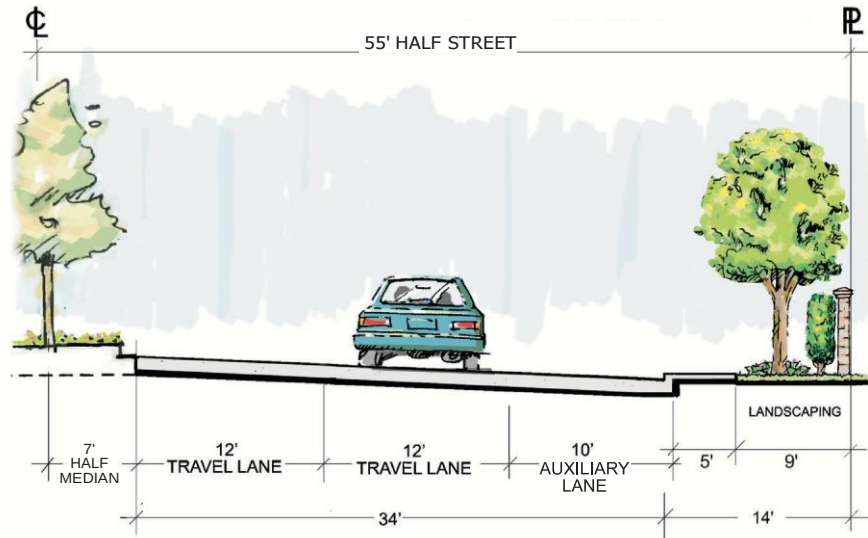
The perimeter street treatments will consist of a combination of uniform street tree plantings with lower ornamental landscaping between the sidewalk and a perimeter wall at the edge of the right-of-way. Streetscape design for the perimeter streets is shown in Figure 8a, *Streetscape Landscape Detail*. All local and perimeter street trees shall be planted as 24” box trees.

3.5.2 Entry Treatments

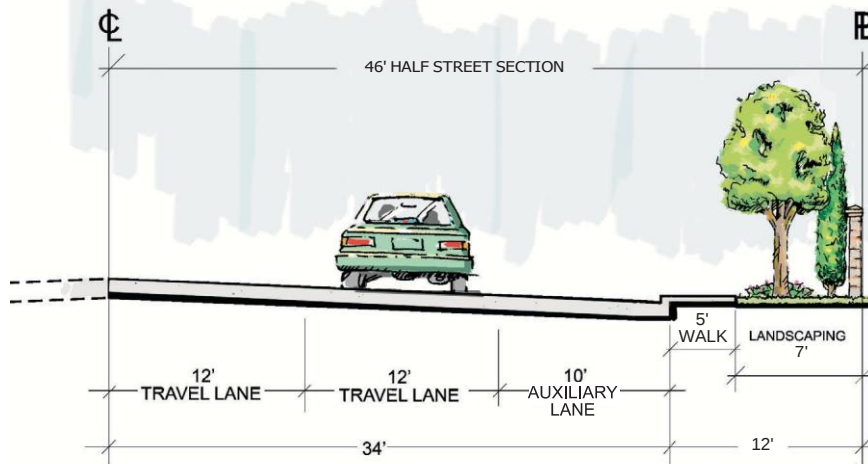
Two types of entry treatments will be provided at the vehicular access points to the community of varying composition and complexity. Treatments for each of the two types are described as follows:

- *Primary Entry Treatments* will occur where the “local entry streets” enter the community from Beech Avenue and the new Major Collector on the east side of the project. Each of these primary

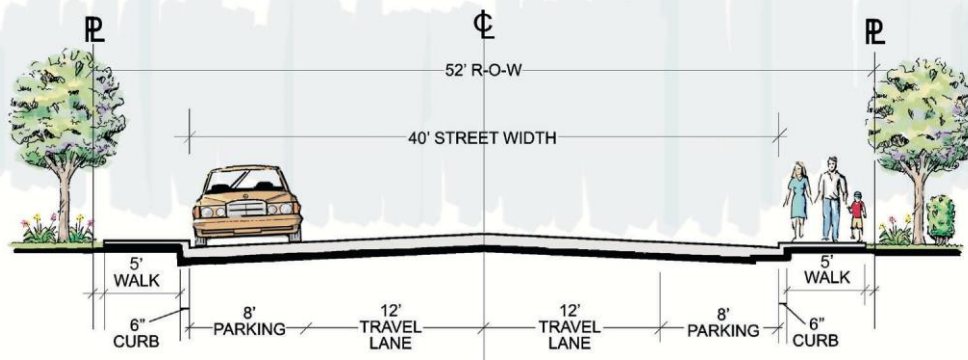
ARTERIAL



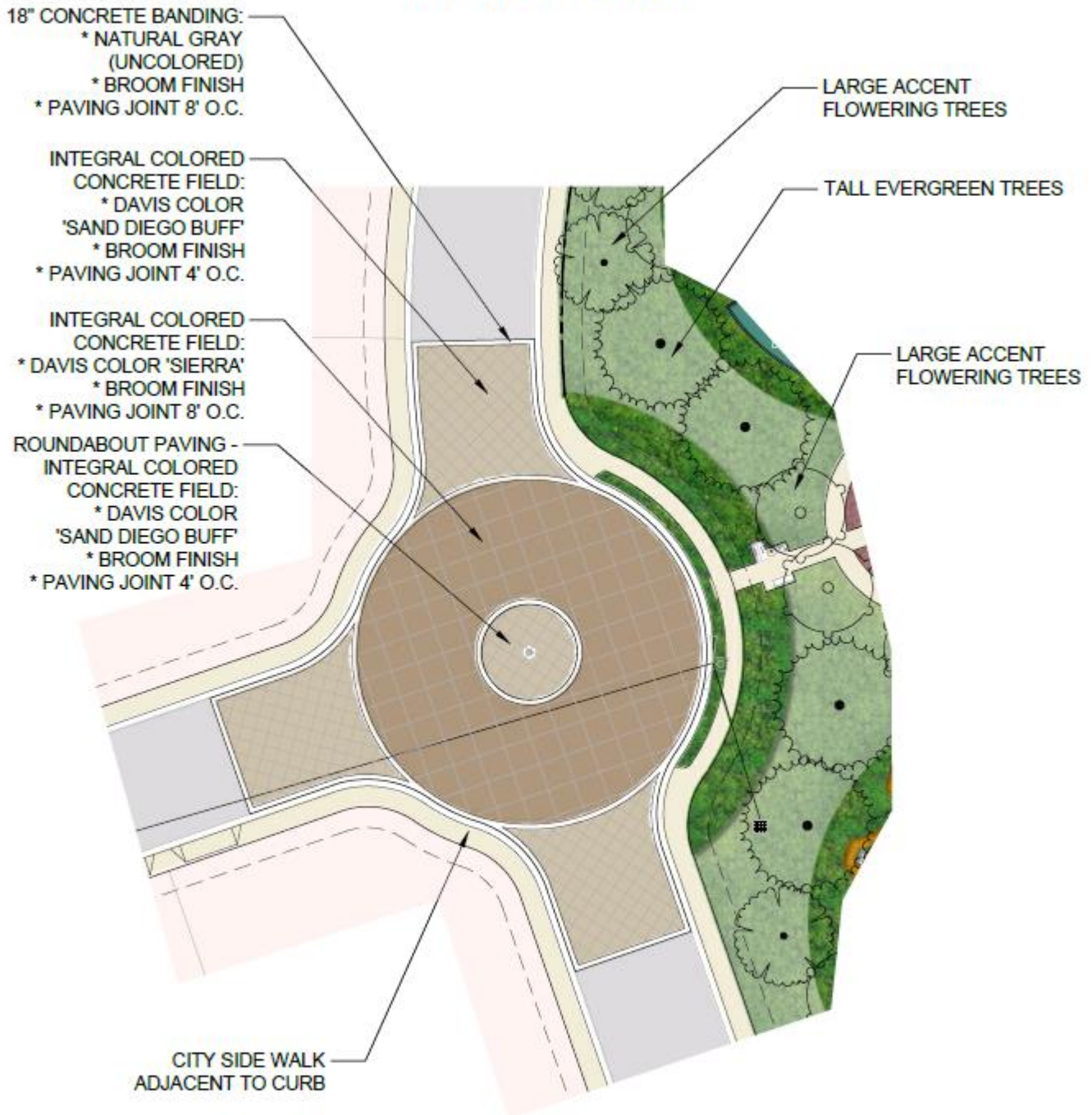
COLLECTOR



LOCAL STREETS (52' R-O-W)



ROUND-ABOUT LANDSCAPE DETAIL



ORCHARD PARK
Shafter, California

FIGURE 8b
Round-About Landscape Detail



ORCHARD PARK
Shafter, California

FIGURE 8b
ROUND-ABOUT LANDSCAPE DETAIL



entry points will have themed landscaping and entry walls. Landscaping, including trees and shrubs will frame these entries, and identification monument signage will also be incorporated within this area. Major entry design is shown in Figure 8c, *Major Entry Plan*, Figure 8d, *Major Entry Landscape Detail*, and Figure 8e, *Entry Monumentation*.

- *Secondary Entry Treatments* will occur at each of the other perimeter street access points into the project area. They will also incorporate themed landscaping and trees framing the entries; however, these will be secondary entries and not as lushly landscaped as the primary entries. Minor entry design is shown in Figure 8f, *Minor Entry Plan* and Figure 8g, *Minor Entry Landscape Detail*.

3.5.3 Edge or Buffer Treatments

Landscaped edge or buffer treatments will be created at three locations within the project: 1) along the edge of the Paseo where it abuts the backyards of adjoining lots (see Figure 8h, *Typical Paseo Detail*), 2) around the three sides of the Drill Island area which abut the residential development and along Tulare Avenue, and 3) along the perimeter street edges. These buffers will consist of fence and/or wall treatments and landscaping. The fencing and/or wall and landscaping shall be constructed with the initial development occurring along one of these interfaces. Wall and/or fence treatments are described below in section 3.5.5.

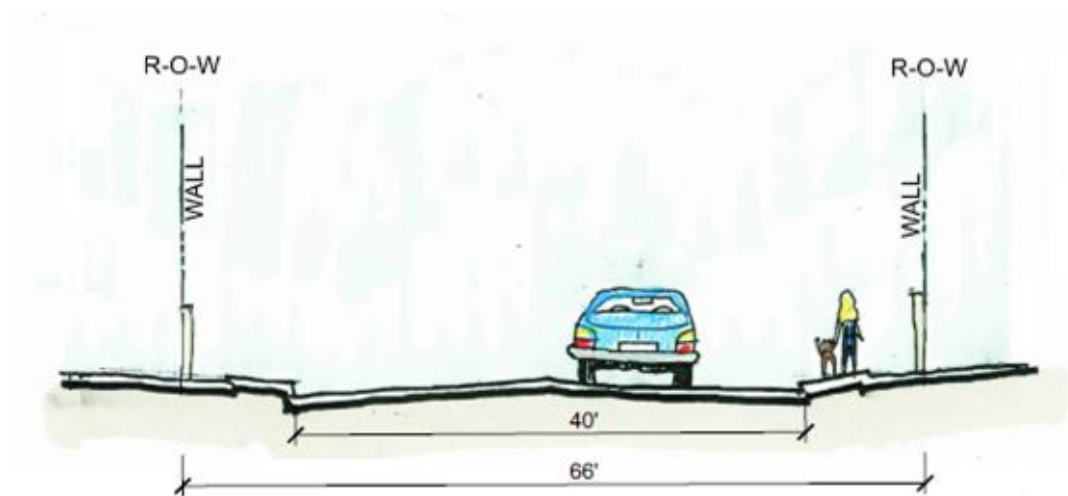
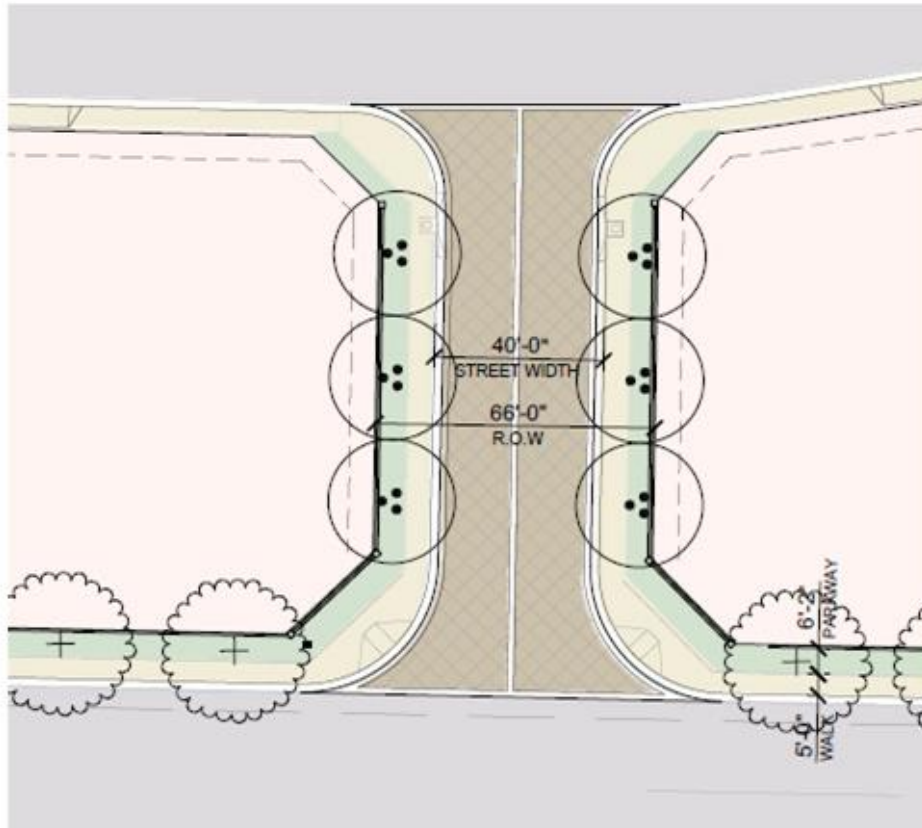
3.5.4 Park Area

A central 5± acre public park will form a community focal point for the project. Facilities envisioned for this park shall include but are not limited to a tot lot and children's play area, picnic tables and barbeques, turf play areas, pedestrian paths, and passive areas (see Figure 8i, *Park Development Plan*). Detailed landscape plans in conjunction with the subdivision map approval process will articulate the design elements and plant materials. Park trees shall be planted as 24" box trees. Sewer and water laterals will be stubbed into the park to provide for the future construction of a restroom facility, to be built by the city at a later date.

3.5.5 Walls & Fences

Community walls and/or fences are defined as those walls and fences that frame entry treatments and paseos and provide a backdrop to the streetscape landscape treatments and/or an edge to the community. These walls and fences contribute to the design continuity of the community landscape theme and the overall image of the community. Community walls and fences occur at the following three locations within the Plan: 1) along the perimeter streets, 2) along the Paseo where it abuts the back of lots, and 3) around the Drill Island and water quality basins.

MAJOR ENTRY PLAN



ORCHARD PARK
Shafter, California

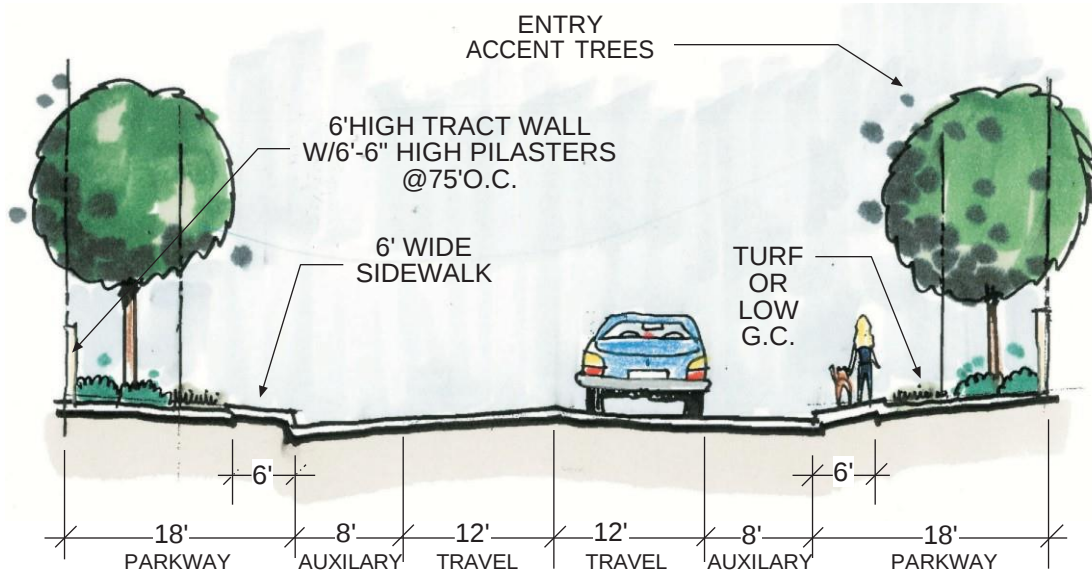
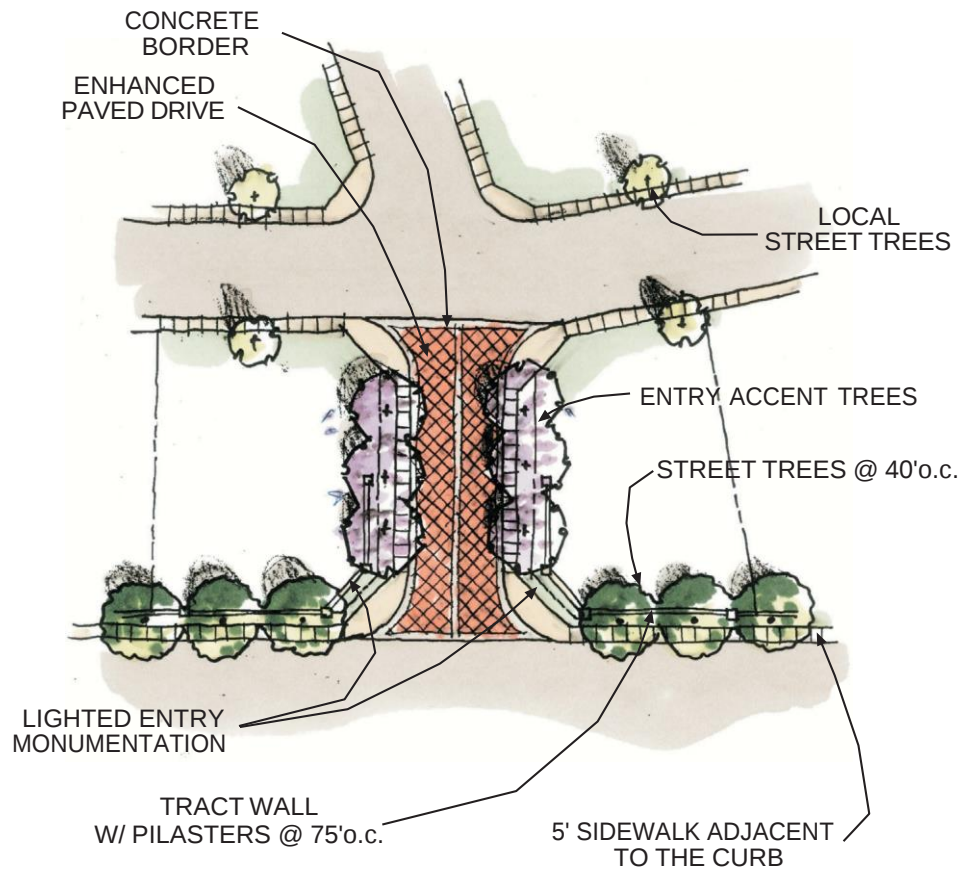
FIGURE 8c
Major Entry Plan



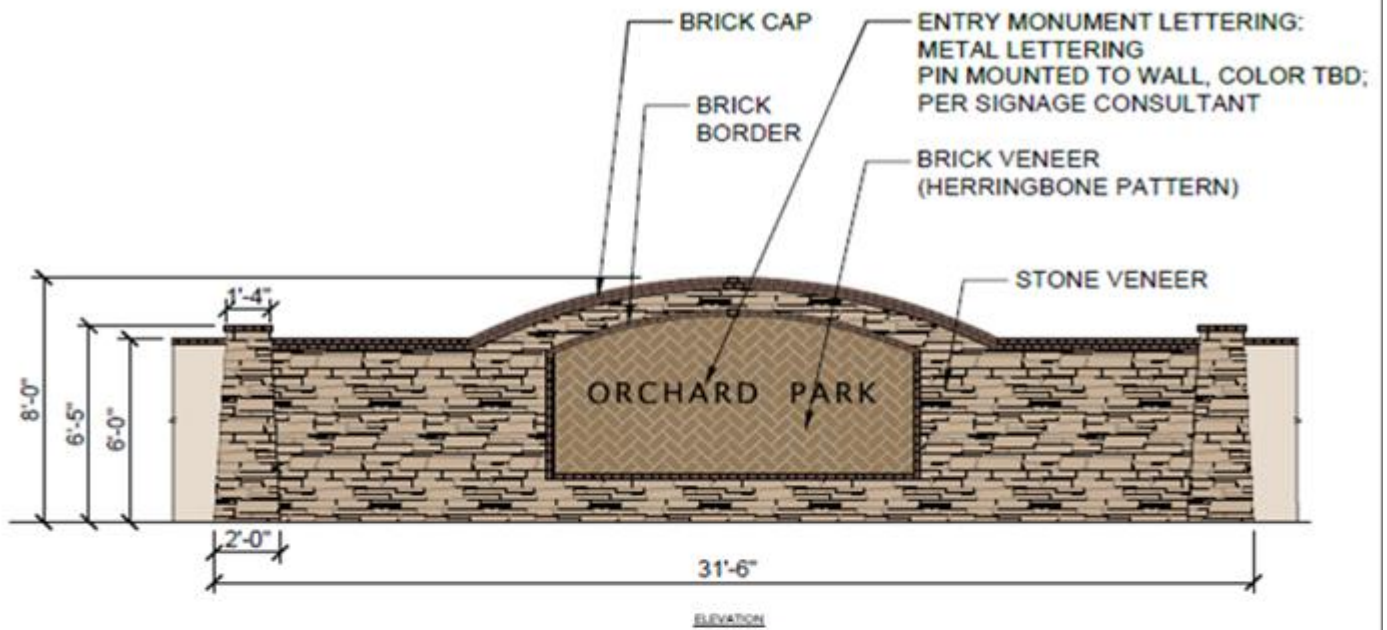
ORCHARD PARK
Shafter, California

**FIGURE 8c
MAJOR ENTRY PLAN**

MAJOR ENTRY LANDSCAPE DETAIL



ENTRY MONUMENT



ORCHARD PARK
Shafter, California

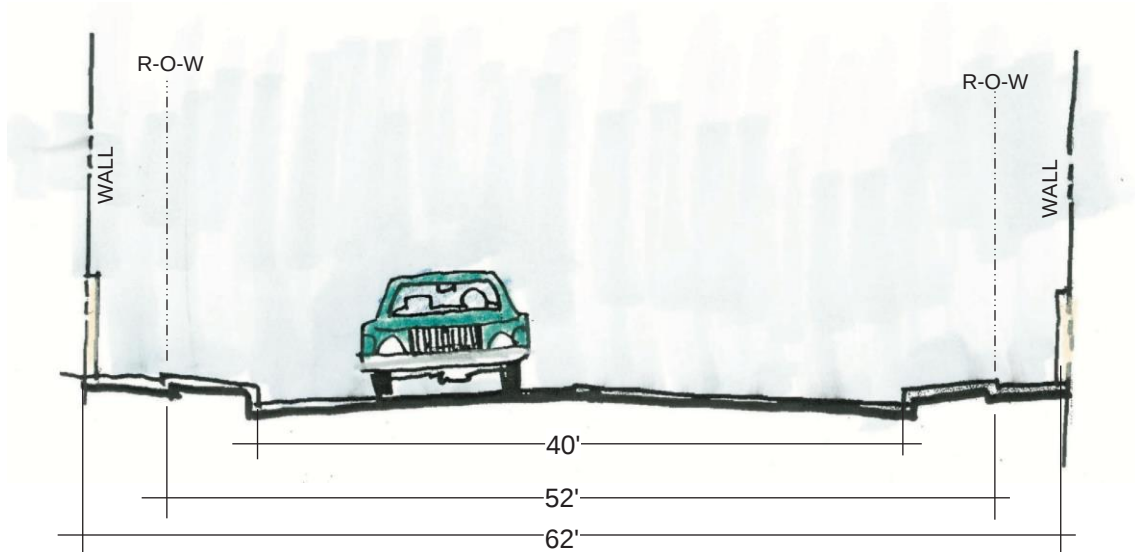
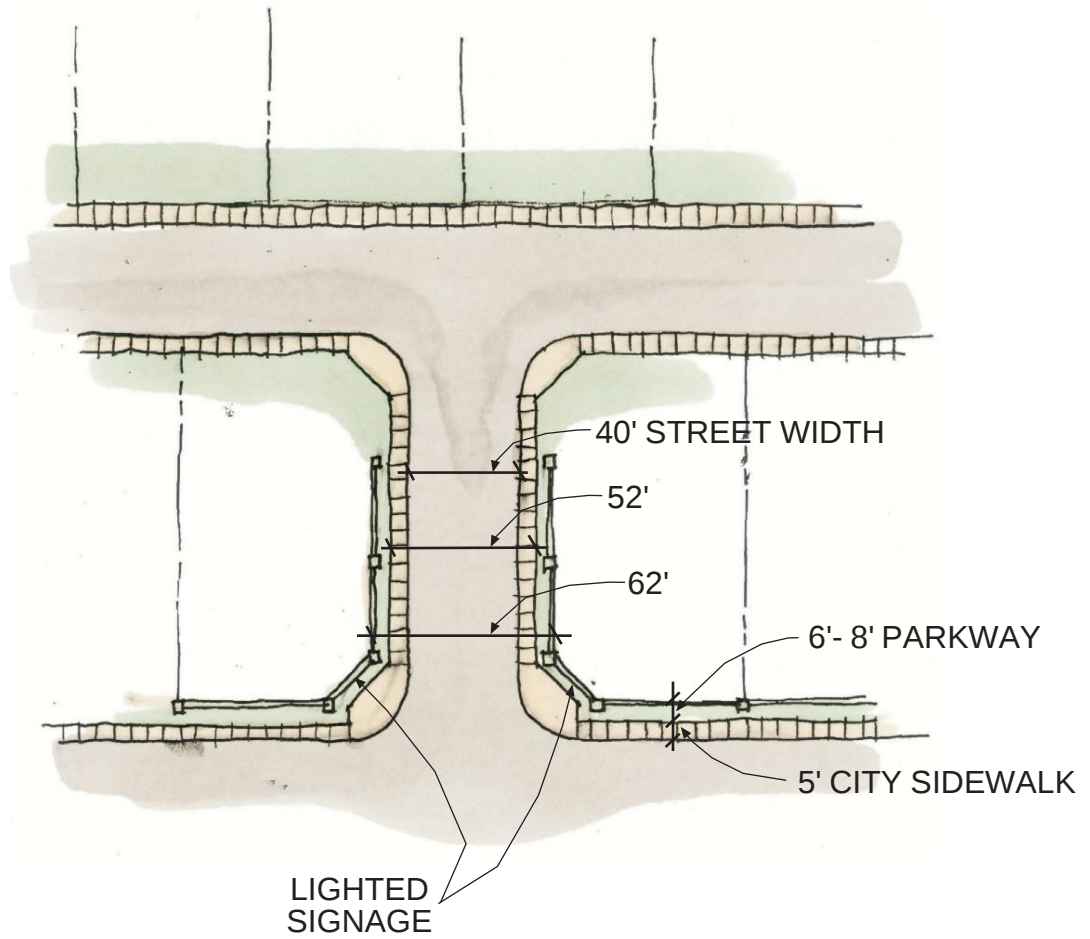
FIGURE 8e
Entry Monumentation



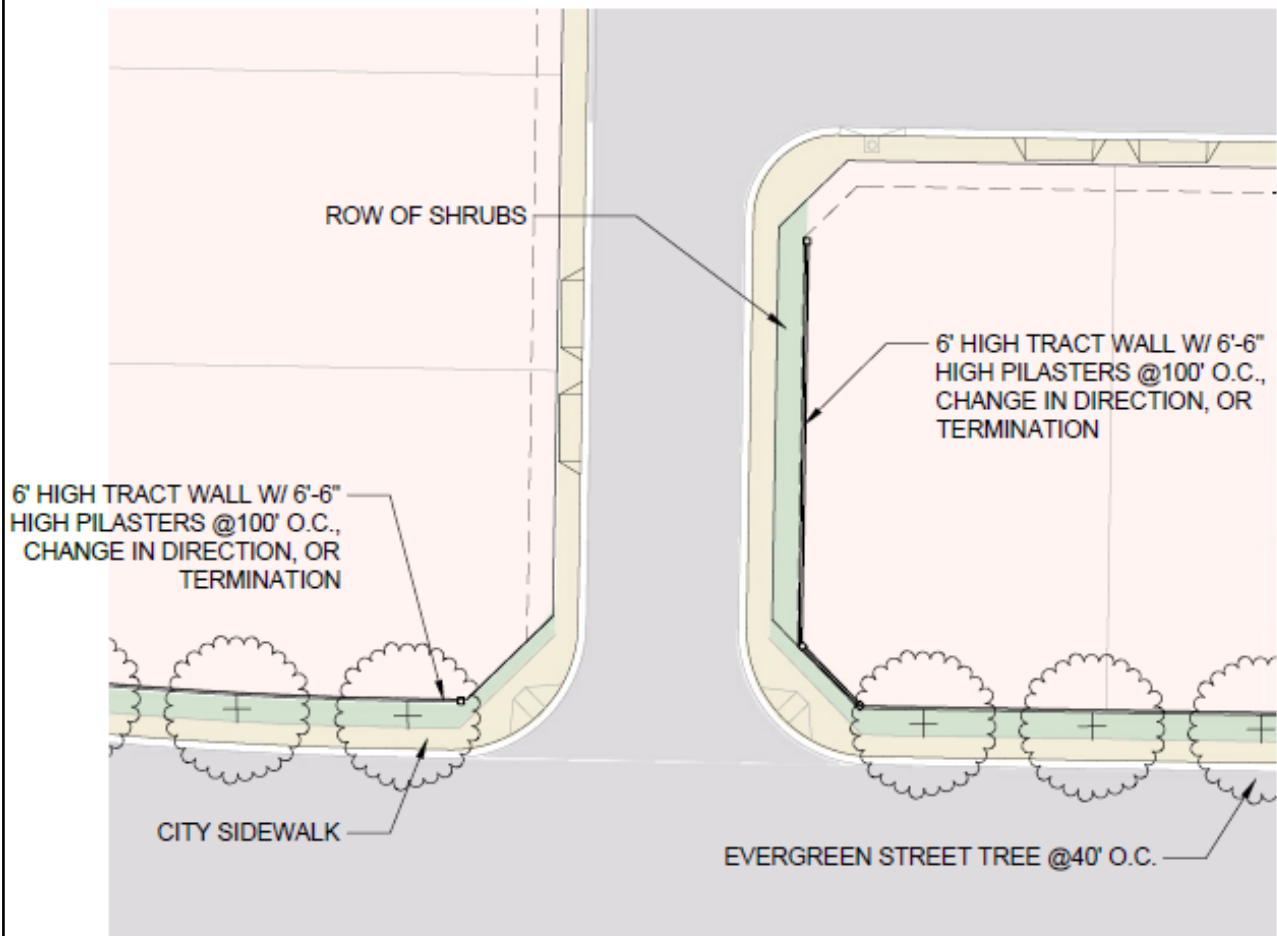
ORCHARD PARK
Shafter, California

FIGURE 8e
ENTRY MONUMENTATION

MINOR ENTRY



MINOR ENTRY LANDSCAPE DETAIL



ORCHARD PARK

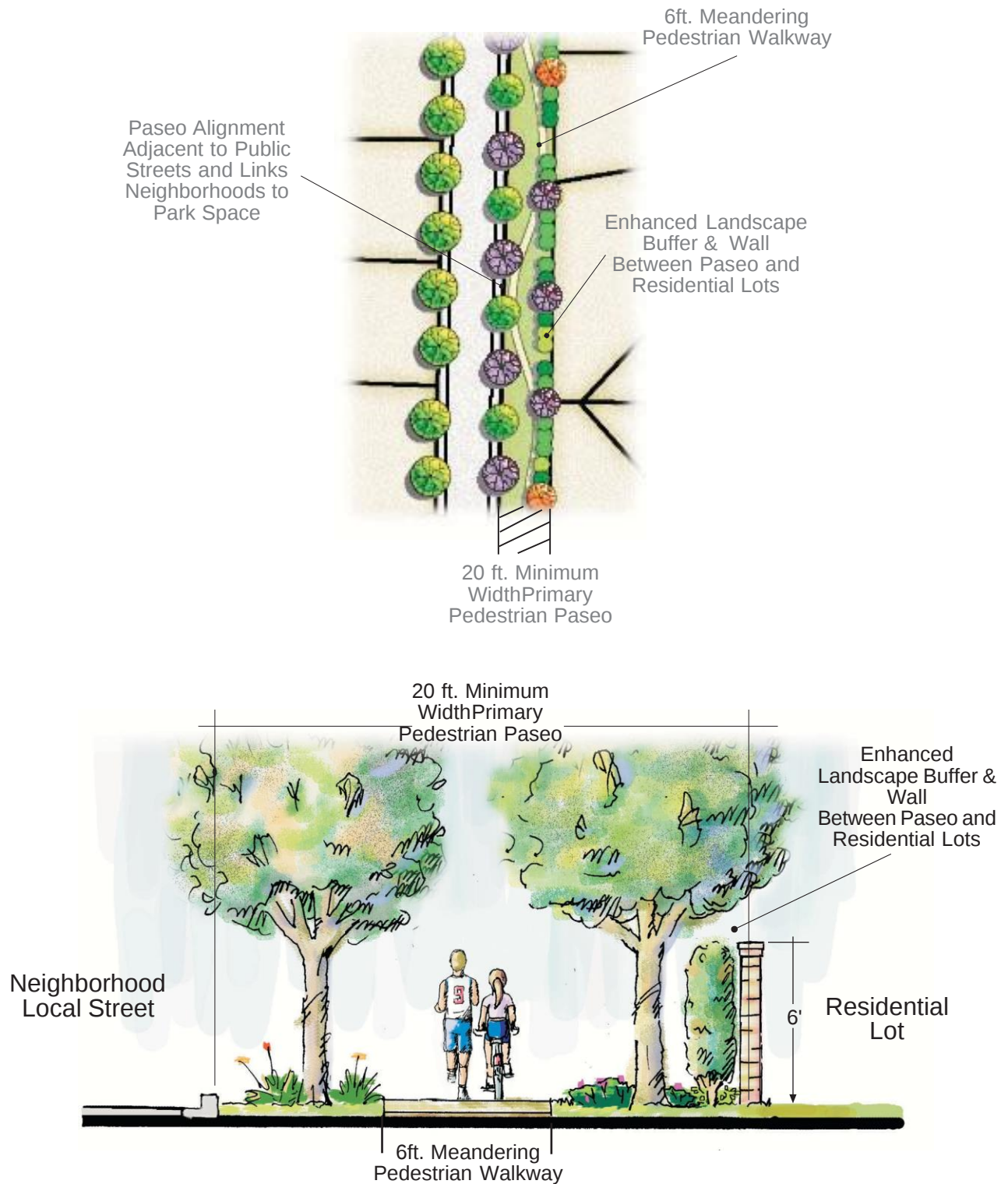
Shafter, California

FIGURE 8g

Minor Entry Landscape Detail



CONCEPTUAL Pedestrian Paseo



PARK DEVELOPMENT PLAN



ORCHARD PARK
Shafter, California

FIGURE 8i
Park Development Plan



ORCHARD PARK
Shafter, California

**FIGURE 8i
PARK DEVELOPMENT PLAN**

The community wall/fence plan is shown in Figure 9, *Community Walls & Fences*, and Figure 9a, *Wall & Fence Detail*.

The design concept for the three locations for community walls/fences is summarized as follows:

- Perimeter and paseo edges shall have masonry wall treatments only, subject to the design criteria outlined herein.
- The water quality basins may have an open wire fence treatment, which is recommended as a welded-wire fence. Where basins abut residential lots a masonry wall is required.
- The Drill Island perimeter, including the Tulare Avenue frontage shall be a masonry wall. Landscaping shall be planted adjacent to the wall where it is visible from a public viewpoint such as along Tulare Avenue and/or interior streets.
- Community walls shall be of masonry block construction. Masonry block shall have decorative surfaces such as split-face **or** slump stone. All surfaces facing perimeter streets or paseos shall be split-face block and/or decorative natural stone, stucco finish is only to be used on wall surfaces facing onto residential lots.
- The top of walls shall be finished with a continuous pre-cast concrete cap.
- Pilasters shall be installed at a spacing of no more than 75 feet on center and at changes in wall direction.
- Pilasters shall be masonry with a split-face finish or natural and/or cultured stone veneer applied to all surfaces facing perimeter streets. Pilaster sides facing into residential lots may have a stucco finish consistent with the adjoining wall finish.
- Pilasters shall be capped with a pre-cast masonry cap consistent with the wall cap.
- Walls abutting paseos shall have the same design criteria as community walls.
- Walls and fences shall have a maximum height of 6 feet from highest adjacent grade but shall also be subject to placement and height restrictions as may be deemed necessary by the City Engineer for safe visibility at intersections.

Residential lot street side yards that face front yards require the following design criteria which is presented in Figure 9b, *Residential Lot Street Side Fence Detail*:

- The base of the fencing shall be a 2-3-foot split-face block wall.

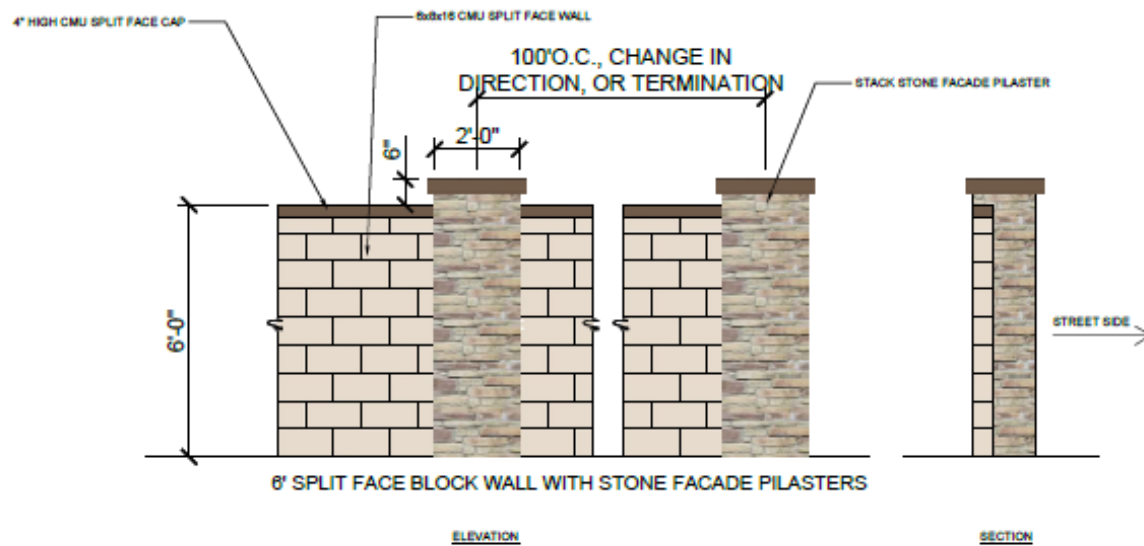


FIGURE 9

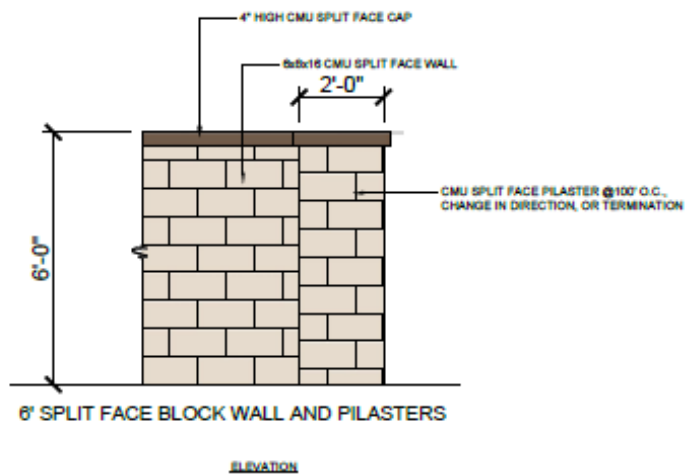
**ORCHARD PARK SPECIFIC PLAN
TRACT 6614
WALL AND FENCE PLAN**

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PERIMETER WALL DESIGN



PASEO WALL DESIGN



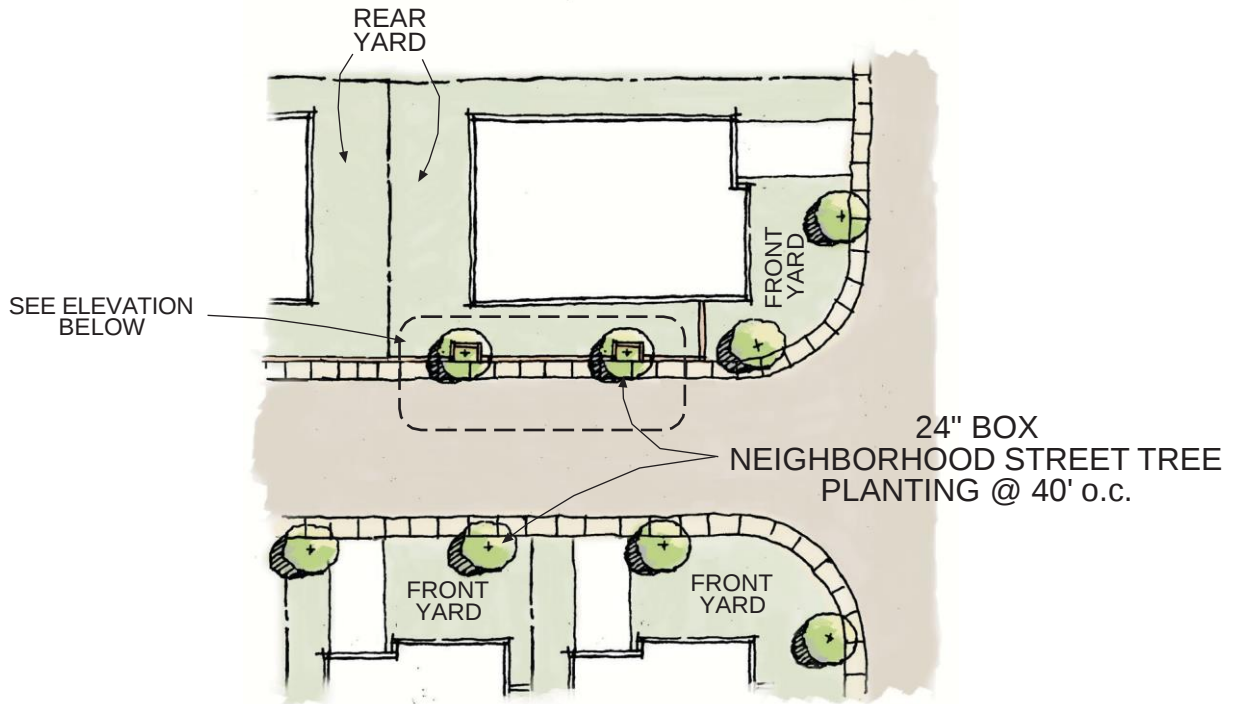
ORCHARD PARK

Shafter, California

FIGURE 9a
Wall and Fence Detail



STREET SIDE FENCE DETAIL



24" BOX
NEIGHBORHOOD STREET TREE
PLANTING @ 40' o.c.



NOT TO SCALE

- An open wrought iron, tubular steel or similar fencing shall be placed on top of the block wall base.
- Permitted height is up to 6 feet as measured from the adjacent sidewalk grade.
- Two 30-inch by 30-inch tree wells shall be equally spaced along the side yard and planted with trees.
- If the wall/fence is placed along the property line at the back of the sidewalk, the tree wells shall be set into the wall/fence line.

3.6 Infrastructure

Backbone infrastructure provided for within the Plan is described in the following sub-sections. Conceptual system plans are shown for water, sewer, and drainage; however, these plans represent preliminary service layouts and are subject to modification depending on more precise engineering analysis at the tentative map and/or site development stage.

3.6.1 Water

The City of Shafter provides domestic water to the project area from a system of wells and distribution mains located in major streets in a grid pattern across the city.

Water service to the project will need to be extended from an existing line in Fresno Avenue to the west of the project area. This extension along Fresno will also be extended southerly along Beech Avenue and then easterly along Tulare and northerly along the new Major Collector on the east side of the project to form a loop system around the project.

A system of 6" and/or 8" water service lines will be provided within all local streets within the development area, looping off of the perimeter street lines. The backbone water service facilities within the project are depicted on Figure 10, *Conceptual Infrastructure Systems*.

3.6.2 Sewer

The City of Shafter provides sanitary sewer collection and treatment services for all development within the project area through its co-ownership of the Shafter/North of the River Sanitation District regional treatment plant. A collection main exists along Lerdo Highway one half mile south of the project area. An existing sewer line in Beech Avenue will provide gravity flows to the Lerdo Highway line.

Within the project's development areas, a system of 8-inch collector lines within all local neighborhood streets will provide gravity flows southwesterly to connections along Beech into the existing Beech Avenue line. The backbone sewer conveyance facilities for the project are depicted on Exhibit 10, *Conceptual Infrastructure Systems*.



FIGURE 10

ORCHARD PARK SPECIFIC PLAN
TRACT 6614
CONCEPTUAL INFRASTRUCTURE PLAN

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ORCHARD PARK
Shafter, California

FIGURE 10
CONCEPTUAL INFRASTRUCTURE

3.6.3 Drainage

The City of Shafter provides storm water drainage facilities within the city, consisting of a combination of surface flow curb drainage, in-street storm drainpipes and retention basins. Storm water runoff within the project area will be collected through a system of curb drainage and in-street storm drainpipes, with in-flow controlled by curb-face catch basins. Drainage flows will be conveyed to retention basins located along the southerly boundary of the project area.

Drainage improvements for this project will be limited to the internal street collection system and retention facilities within the project area. The need for, location and sizing of retention capacity design will be dependent on final engineering analysis. The proposed backbone storm drain facilities are depicted on Exhibit 10, *Conceptual Infrastructure Systems*.

3.6.4 Utilities

PG&E and the Southern California Gas Company currently provide electrical power and natural gas respectively to the City of Shafter and the project area. SBC provides telephone service to the project area. These facilities currently exist in the streets bordering the project area and are proposed to be extended into the Plan area in underground conduits.

These utility services will be located underground within all of the project streets, with aboveground appurtenances (transformers, etc.) behind the face of curb at various locations.

A City owned high-speed “fiber to the home” fiber optic network will be incorporated in the project design. Provisions for this network will be included in the required project Development Agreement.

IV. DEVELOPMENT STANDARDS & REGULATIONS

The primary implementation guidance tool for Orchard Park is this Specific Plan, which establishes the character of the development through the definition of permitted land use, required infrastructure, development regulations and design guidelines. The standards and regulations contained in this section and the Design Guidelines contained in Section V provide the framework upon which all subsequent implementation planning decisions are based, and criteria for determining consistency of site-specific design with the Specific Plan objectives.

It is the purpose of the Development Standards section to serve as the development regulations for Orchard Park. As such, these regulations and standards supersede the corresponding City of Shafter Zoning Ordinance sections. Where the Specific Plan is silent on a development issue, regulation, or procedure, or where reference is made to a specific ordinance section, the applicable section(s) of the City of Shafter Development Code and/or other applicable City ordinances shall prevail. Where design guidelines or development standards of the Plan do not agree with the City's ordinances, this Specific Plan shall apply.

4.1 Definition of Terms

All terms used in this specific plan shall have the same definitions as provided in the City of Shafter Municipal Code, Zoning Ordinance, Chapter 1, Section 1.190.

4.2 General Notes

1. The maximum number of residential units permitted by the Orchard Park Specific Plan shall be 440. The residential land use acreage and yield is shown in Table 2. During the Tentative Tract Map design stage the actual number of units within the Plan may differ from the number shown in Table 2, but in no case shall it exceed 440 units.
2. Minor boundary and acreage changes in the land use designations may be permitted as part of more detailed design and engineering studies at the site design and Tentative Tract Map design stages, without an amendment to the Specific Plan document.
3. General development standards contained in Chapters 10 through 14 of the Municipal Code, Title 17 of the City of Shafter, shall be applicable to performance standards, parking, signage, private swimming pools and other specific uses, accessory structures and other general development in the Specific Plan area unless otherwise provided for within the Specific Plan.

4. Where the Specific Plan is silent on a development regulation or standard the applicable section(s) of the City Zoning Code and/or other applicable City ordinances shall prevail. When a discrepancy occurs between this Specific Plan and the provisions of Title 17 of the Municipal Code, this Specific Plan document shall supersede the applicable Title 17 Municipal Code sections.

4.3 **Land Use Development Standards**

This section describes the development standards for each of the land use designations within the Specific Plan. As indicated above, where development standards for the land use designations in this Plan do not agree with the corresponding City Development Code requirements, the provisions of this Specific Plan shall apply. It is the intent of the Specific Plan that development shall be allowed only if the proposed development meets the requirements of the applicable land use designations described herein. A description of development standards for each use designation follows.

4.3.1 ***Detached Residential (DR)***

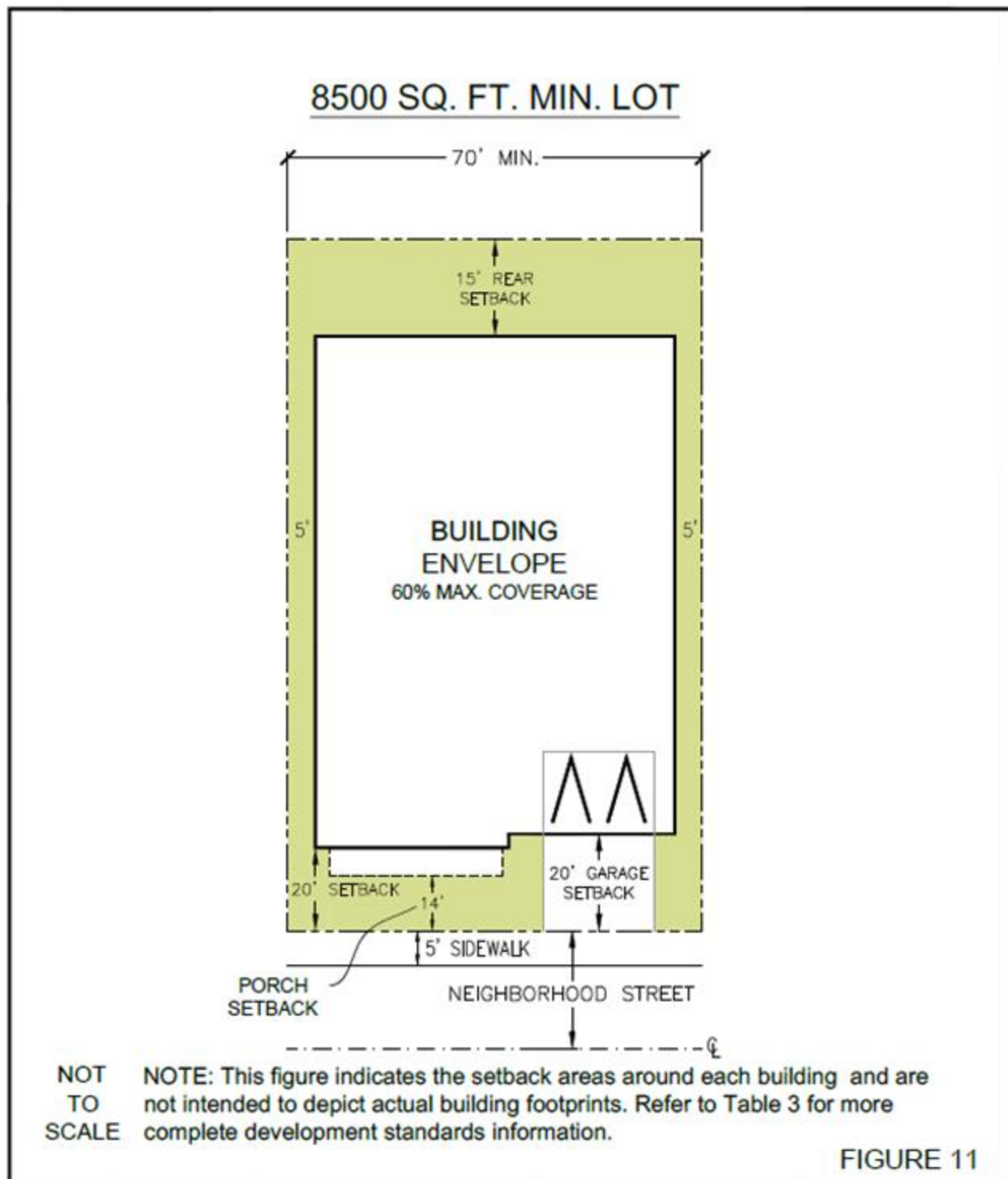
This designation is intended to accommodate single family detached residential development in a pattern consistent with the *Conceptual Lotting Plan* shown in Figure 6. However, Figure 6 is conceptual in nature and other designs may also be applicable, depending on more precise engineering analysis at the tentative subdivision map stage.

This designation is characterized by a mix of three distinct lot sizes, 8,500 sq. ft., 9,500 sq. ft., and 10,800 sq. ft., up to a maximum density of 3.5 units per gross acre. Permitted uses and development standards are outlined below, and design guidelines are described in Section V below.

Permitted Uses: Uses permitted in this use designation shall include those listed below when developed in compliance with the purpose and intent of this Specific Plan.

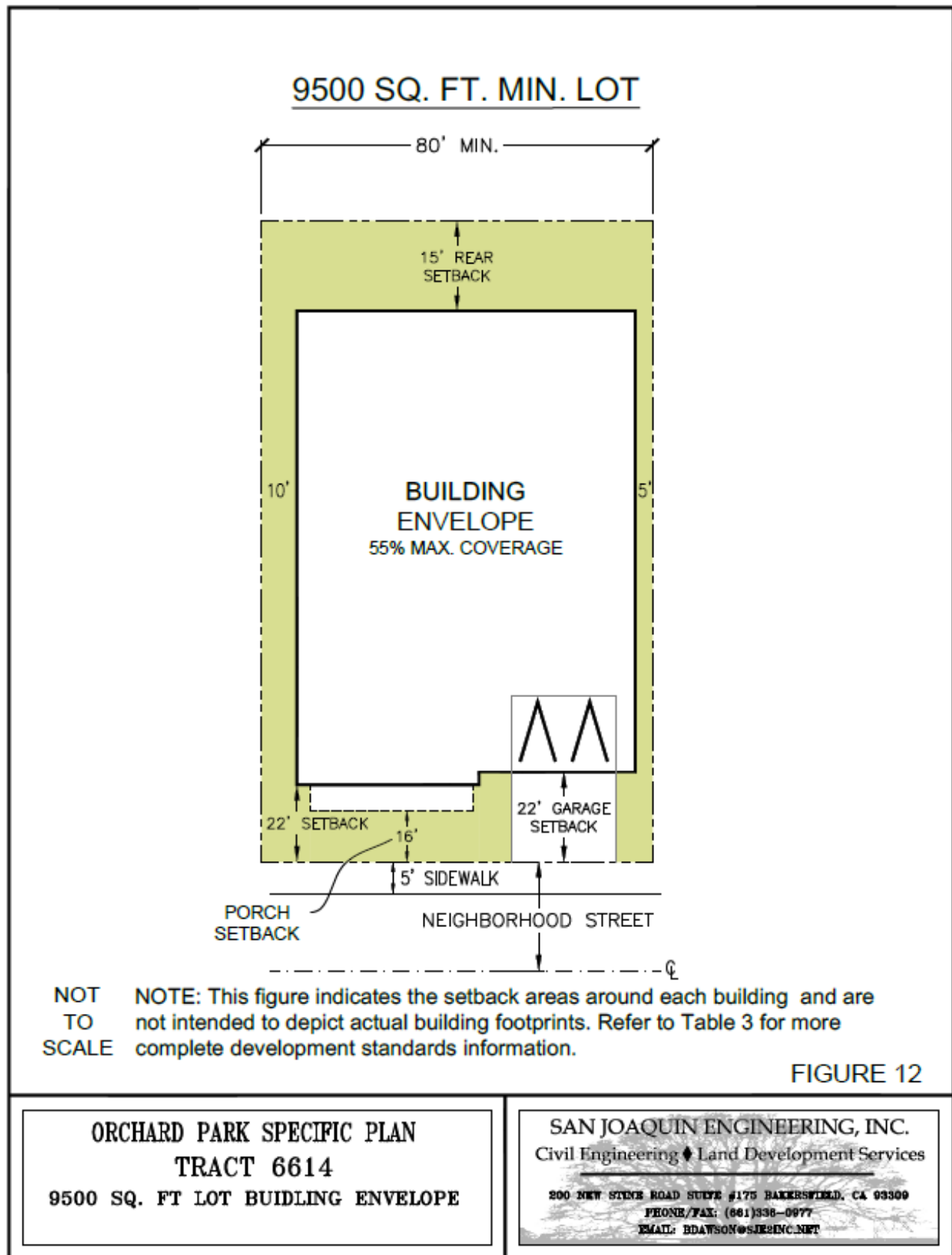
1. Single-family detached residences.
2. Private or public parks, playgrounds, and recreation buildings.
3. Accessory uses pursuant to Municipal Code, Title 17, Section 4.30, Table 4.A, R-1 uses.
4. Secondary residential uses as authorized by State law.

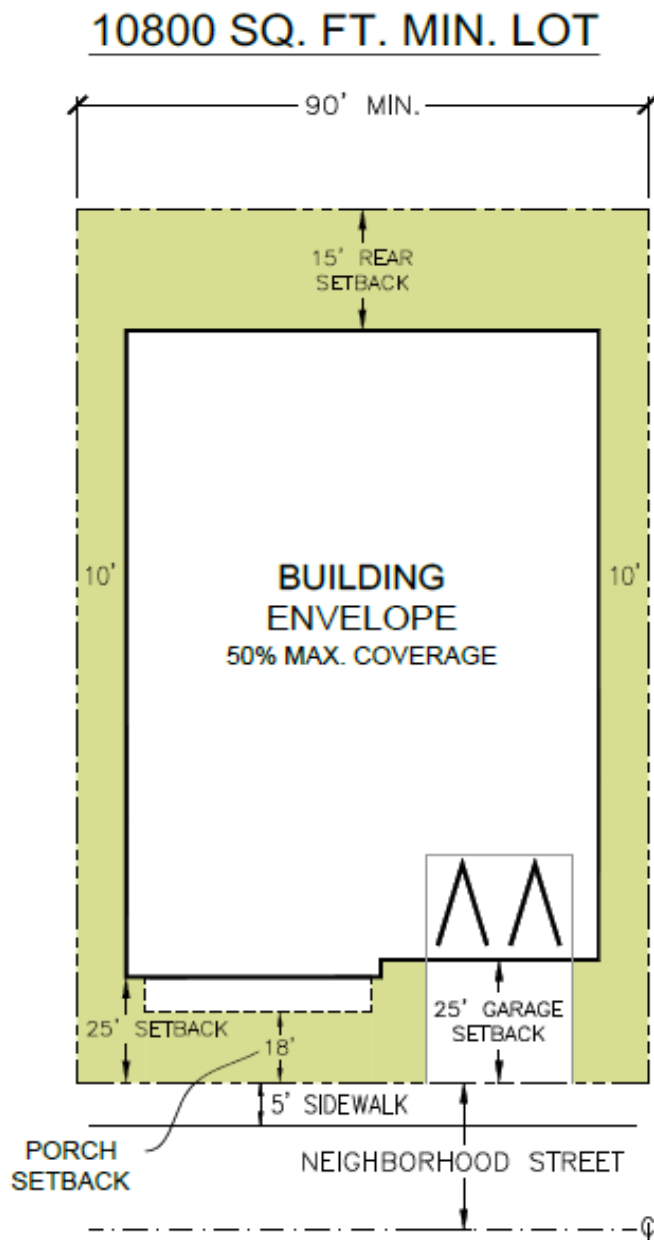
Development Standards: Development standards are shown in Table 3, *8,500 Sq. Ft. Lot Size Development Standards*, Table 4, *9,500 Sq. Ft. Lot Size Development Standards*, and Table 5, *10,800 Sq. Ft. Lot Size Development Standards*, below. Typical lot development standards for each lot size are shown in Figures 11, 12 and 13.



ORCHARD PARK SPECIFIC PLAN
TRACT 6614
8500 SQ. FT LOT BUILDING ENVELOPE

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EMAIL: DDAWSON@SJEINC.NET





NOT TO SCALE NOTE: This figure indicates the setback areas around each building and are not intended to depict actual building footprints. Refer to Table 3 for more complete development standards information.

FIGURE 13

ORCHARD PARK SPECIFIC PLAN
TRACT 6614
10800 SQ. FT LOT BUILDING ENVELOPE

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TABLE 3
8,500 SQ. FT. LOT SIZE
DEVELOPMENT STANDARDS

Development Criteria	Standard
Lot Area Minimum (sq. ft.)	8,500
Minimum House Floor Area (sq. ft.) ⁶	1,600
Minimum Lot Width – Interior Lot (ft.) ^{1,2}	70
Minimum Lot Width – Corner Lot (ft.) ¹	75
Setbacks (ft.) ³	
• Front – Living space	20
• Front – Porch	14
• Front – Garage, Straight-in & Side Entry Drive	20
• Side	5
• Rear	15
• Corner Side ⁴	10
• Corner Side Garage	20
• Accessory Structure Side	5
• Accessory Structure Rear	5
• Projections into Required Yards ⁵	Architectural features, any yard – 2 Balconies, front, or rear yard – 4
Maximum Lot Coverage (%)	60
Maximum Building Height (ft.)	38
Reversed Corner Lot Street Side yard – Fencing Height	Per Section 10.90 (1.a. & 1.b.) of the City of Shafter Development Code
Parking	2 covered spaces/unit
Building Separation (between lots) (ft.)	
• Side to Side	10

Notes:

- ¹ Minimum lot width measured at the front setback line.
- ² Minimum widths for lots fronting cul-de-sacs and/or knuckles measured along the arc of the front setback line.
- ³ Street setbacks measured from property line at back of walk.
- ⁴ Corner side setback for reverse corner lots shall be 15 feet.
- ⁵ No yard encroachments shall project closer than 3 feet to a property line.
- ⁶ Homes less than 1,800 SF are limited to a maximum mix of 33%.



TABLE 4
9,500 SQ. FT. LOT SIZE
DEVELOPMENT STANDARDS

Development Criteria	Standard
Lot Area Minimum (sq. ft.)	9,500
Minimum House Floor Area (sq. ft.) ⁶	1,800
Minimum Lot Width – Interior Lot (ft.) ^{1,2}	80
Minimum Lot Width – Corner Lot (ft.) ¹	85
Setbacks (ft.) ³	
• Front – Living space	22
• Front – Porch	16
• Front – Garage, Straight-in & Side Entry Drive	22
• Side	5 minimum, total of 15
• Rear	15
• Corner Side ⁴	10
• Corner Side Garage	20
• Accessory Structure Side	5
• Accessory Structure Rear	5
• Projections into Required Yards ⁵	Architectural features, any yard – 2 Balconies, front or rear yard – 4
Maximum Lot Coverage (%)	55
Maximum Building Height (ft.)	38
Reversed Corner Lot Street Sideyard – Fencing Height	Per Section 10.90 (1.a. & 1. b.) of the City of Shafter Development Code
Parking	2 covered spaces/unit
Building Separation (between lots) (ft.)	
• Side to Side	10

Notes:

- ¹ Minimum lot width measured at the front setback line.
- ² Minimum widths for lots fronting cul-de-sacs and/or knuckles measured along the arc of the front setback line.
- ³ Street setbacks measured from property line at back of walk.
- ⁴ Corner side setback for reverse corner lots shall be 15 feet.
- ⁵ No yard encroachments shall project closer than 3 feet to a property line.
- ⁶ Homes less than 2,000 SF are limited to a maximum mix of 33%.



TABLE 5
10,800 SQ. FT. LOT SIZE
DEVELOPMENT STANDARDS

Development Criteria	Standard
Lot Area Minimum (sq. ft.)	10,800
Minimum House Floor Area (sq. ft.) ⁶	1,800
Minimum Lot Width – Interior Lot (ft.) ^{1,2}	90
Minimum Lot Width – Corner Lot (ft.) ¹	95
Setbacks (ft.) ³	
• Front – Living space	25
• Front – Porch	18
• Front – Garage, Straight-in & Side Entry Drive	25
• Side	10
• Rear	15
• Corner Side ⁴	15
• Corner Side Garage	20
• Accessory Structure Side	5
• Accessory Structure Rear	5
• Projections into Required Yards ⁵	Architectural features, any yard – 3 Balconies, front or rear yard – 6
Maximum Lot Coverage (%)	50
Maximum Building Height (ft.)	38
Reversed Corner Lot Street Sideyard – Fencing Height	Per Section 10.90 (1.a. & 1.b.) of the City of Shafter Development Code
Parking	2 covered spaces/unit
Building Separation (between lots) (ft.)	
• Side to Side	20

Notes:

- ¹ Minimum lot width measured at the front setback line.
- ² Minimum widths for lots fronting cul-de-sacs and/or knuckles measured along the arc of the front setback line.
- ³ Street setbacks measured from property line at back of walk.
- ⁴ Corner side setback for reverse corner lots shall also be 15 feet.
- ⁵ No yard encroachments shall project closer than 3 feet to a property line.
- ⁶ Homes less than 2,200 SF are limited to a maximum mix of 60%

4.3.2 **Public Park (P)**

This designation is intended to accommodate public or private parks and playgrounds consistent with the *Conceptual Lotting Plan* shown in Figure 6. However, Figure 6 is conceptual in nature and final design may vary somewhat, depending on City park requirements and more precise engineering analysis at the tentative subdivision map stage.

Permitted Uses: Uses permitted in this use designation shall include those listed below when developed in compliance with the purpose and intent of this Specific Plan.

1. Public and private parks, playgrounds, and recreation buildings.

4.3.3 **Oil & Gas Overlay (OG)**

This designation is intended to provide for the recovery of oil and gas resources in a manner compatible with surrounding residential land uses, and pursuant to Chapter 9, Title 17 of the City of Shafter Municipal Code.

Permitted Uses: Oil and gas uses permitted in this use designation shall include those uses allowed under Chapter 9, Title 17 of the City of Shafter Municipal Code, subject to approval by Conditional Use Permit consistent with Section 2.50, Chapter 2 of the above referenced Title 17.

In addition to oil and gas related uses, Retention and/or Detention Basins shall be allowed subject to approval through the Tentative Tract Map process.

Development Standards: Development standards contained within Section 9.30, Chapter 9, Title 17 shall be applicable for oil and gas operations within the Specific Plan area.

Retention and/or Detention Basins shall be designed in accordance with City of Shafter development standards and the following criteria:

- Basins shall be designed and sized to accommodate drainage for homebuilders within the Plan.
- Basins shall be designed and sized as part of the Tentative Tract Map process and based on a complete hydrology report prepared by a State of California registered civil engineer.
- Basins shall be visually screened through fencing, landscaping or a combination thereof from adjoining residential development areas.

V. DESIGN GUIDELINES

In addition to development standards, design guidelines are contained in this section to assist in the implementation of the Specific Plan by providing an added level of definition for the Plan's design objectives and the intended development character. The Specific Plan's principal design objective is to utilize a comprehensive, high quality community design approach addressing both community level design elements (streetscapes, entries, parks/open space) and individual lot design elements (siting, architecture). The design guidelines contained in this section address the individual lot design elements and are intended to establish a consistent design expression among site planning, architecture and landscape architectural components while allowing reasonable flexibility in design.

5.1 Intent of Design Guidelines

These guidelines are intended to provide criteria for design, while allowing flexibility for architects, landscape architects, developers, and builders in the implementation of the Plan. Variation and customization within the context of the guidelines is encouraged in order to achieve diversity and individually distinctive neighborhoods complemented by recreational amenities and neighborhood linkages.

Examples of desirable design elements and architectural styles are described in the following pages. These descriptions are conceptual and do not depict final designs. Creativity is encouraged and alternative design elements and architectural styles are allowed as long as they are executed consistent with the overall purpose of these design guidelines to promote aesthetic quality and community diversity.

These design guidelines are intended to:

- Assist in implementing the Specific Plan by establishing project intent and ensuring compatibility and high-quality design among the various residential areas of the plan;
- Create a framework to implement individual project design while maintaining community identity.
- Provide the City of Shafter with the necessary tools to assure that the Orchard Park community will be developed with a high quality and character as set forth in this Specific Plan.



These guidelines are provided for the benefit of builders, their design teams, and City staff and decision makers in the preparation and review of future construction level development proposals. They are intended to make this process as smooth as possible by providing clear direction to decision makers on the intent of the plan, and by so doing reducing the possibility of confusing interpretation and subjective decisions regarding Plan implementation.

5.2 Site Planning Guidelines

Lotting Concepts

- The general lotting concept shown in Figure 6, *Conceptual Lotting Plan*, shall be conceptual and intended to demonstrate the probable development pattern within the residential portion of the plan. However, other designs may also be applicable, and actual lotting may be flexible in terms of layout and location of local streets so long as the overall project density is not exceeded, and major community framework elements such as the north-south paseo and the park amenity remain at their designated locations within the Specific Plan.
- Lotting should accommodate pedestrian friendly design, providing for sidewalk and bicycle connections to the park within the Plan.
- Roadways should be aligned to accommodate the planned north-south paseo within the plan area.

Siting Criteria

- Buildings should be sited to front onto public neighborhood streets. Buildings that side or back onto a public street should be architecturally treated or screened to enhance views from the public right-of-way.
- For each of the architectural styles utilized, at least three of the “essential design elements” (as listed in Figures 14, 15, 16, 17 & 18) of the styles chosen must be incorporated into the exterior design.
- Varying front/street elevation views should be used in siting homes in residential tracts.
- For each floor plan there shall be at least two elevation variations, with alternative floor plans and/or elevation styles plotted on contiguous lots.
- Corner lots have high public realm visibility and should generally have one story elements and/or careful architectural detail facing the side street (see Corner Conditions, page V-12).
- Varying setbacks, building heights and roof planes should be utilized to provide a varied and more interesting visual character along neighborhood streets.

5.3 Architectural Guidelines

The purpose of these architectural design guidelines is to promote aesthetic quality along with community diversity. By showing examples of selected architectural styles and referencing the range of detailing within the styles, an historic context or style of architecture can be documented. This permits high quality architectural design to occur, while still considering current home-building needs.

Single Family Detached Architectural Styles

The architectural character envisioned for the residential neighborhoods within Orchard Park is influenced by the historical precedents of earlier development within the San Joaquin Valley during the first half of the 20th century. Examples of the architectural styles commonly found in the area during this time period include Spanish Eclectic, Monterey, Craftsman, Cottage and Traditional. These five styles are identified as appropriate for the Orchard Park development to build on the historical precedents of the older neighborhoods of the community. No two identical elevations shall be placed side by side.

The Design Guidelines of the plan establish the framework to achieve harmony and compatibility within residential neighborhoods, while providing the flexibility to create variety in the architectural expression and interpretation of the design styles envisioned for the community. A brief description of the architectural styles encouraged to be used at Orchard Park are discussed below. The mix of the five architectural styles mentioned above is encouraged to enhance the diverse architectural nature of the community and reflect the eclectic nature of many older neighborhoods. Other architectural styles may be approved for the Orchard Park development, and other styles, if approved, should exhibit historical authenticity and compatibility to the five styles identified below.

In interpreting these residential architectural styles for project design within the Orchard Park plan it should be recognized that contemporary applications of historic styles may not be as detailed based on current building materials, construction costs and maintenance costs. However contemporary designs should incorporate the key features of the architectural style using contemporary building practices and balancing construction costs with affordability objectives for each project so that a range of housing types and prices are available within the community.

The historic architectural styles appropriate for the Orchard Park community are described below. Depictions of style contained in the following exhibits

are for examples of style only and are not intended to represent specific products to be built within the Plan.

Spanish Eclectic (Figure 14)

Because of the rich Spanish heritage of the early California settlers, along with the mild Mediterranean climate of the area, the Spanish Eclectic style of architecture was very popular in Southern California during the early 1900's. It is a style which uses decorative details borrowed from throughout the entire history of Spanish architecture.

The Spanish Eclectic style of architecture is characterized by one-story and two-story building masses, which are usually asymmetrical in form. Round or square towers are typical building accent forms, as are arcaded walkways leading to the front entrance or along a courtyard. The roofs are typically low pitched with little eave overhang, and are covered with red tile. Roof types commonly found in this style include side or cross-gabled, hipped, flat with parapet walls, or a combination of these.

Special features are used to further articulate and identify the Spanish Eclectic style of architecture. One or more prominent arches are commonly placed above a door or principal window, or beneath a porch roof. The entries are usually emphasized through the use of pilasters, columns, or patterned tiles, with the doors made of heavy wood panels. Many times there is one large focal window along the front façade, usually of a triple-arched shape. Decorative window grilles of wood or wrought iron are common, as are similar balustrades on porches and balconies.

Common Attributes:

Massing:

- Asymmetrical one to three story massing

Roofs:

- Low- to moderately pitched terra cotta or concrete barrel or "S" shape tile roofs with modest to generous overhang
- Simple tile rakes and occasional eaves



Essential Elements of Spanish Eclectic Design

- Stucco walls with a hand made formed appearance.
- Shallow sloped, terra cotta barrel tile roofs in variegated colors.
- Thick walls with deep recessed openings, often featuring arches.
- Covered patios, porches, loggias.
- Detailing primarily at openings.
- Decorative iron work.



Windows and Doors:

- Deeply recessed openings at major openings, which are often arched, or with occasional raised or molded pediments.
- Typically, individual casement windows with wood or white vinyl frames.
- Vertically hung 9 and 12 paned windows on front façade.
- Either wood or black wrought iron are used for window grates and balconies, which may also feature awnings designed for sun control.
- Typically, carved wood front doors, or other ornate wood (*or fiberglass*) doors of painted or stained finish; French doors.

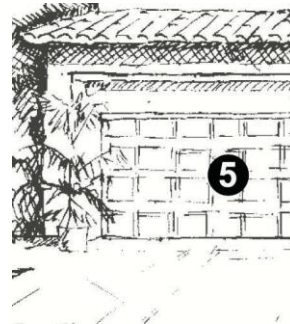
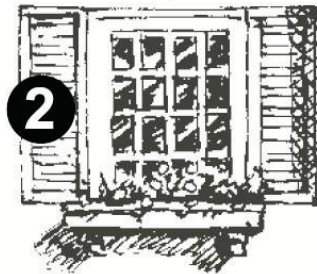
Details, Finishes & Colors:

- Decorative ironwork on window grills, doors, balconies, and roof supports.
- Garage door patterns complimentary to style.
- Light sand finish or light lace finish stucco massing with simple vent holes in walls.
- Stucco over foam window and door trim.
- Typical wall material is smooth or lightly textured stucco ranging in color from off-white to beige with a second trim color; sometimes a third color is used on the window frames.
- Dark brown trims; typical accent colors are blue, dark green, ochre or red.

Monterey (Figure 15)

The Monterey architectural style is an early California style which borrowed design elements from the New England Colonial style and merged them with Spanish Colonial architecture.

The Monterey style is characterized by simple building forms, smooth wall surfaces, and tile roofs. The building massing usually consists of rectilinear two-story elements with wide second story porches. Many times, these porches are cantilevered under the overall roof form. The roofs are low pitched and sometimes feature broken pitches over the cantilevered balconies.



Essential Elements of Monterey Design

1. Cantilevered balcony
2. Colonial style window shutters
3. Concrete tile roof sheds over balcony
4. Smooth plaster or stucco walls
5. Garage door complimentary to style



Example

The wood elements of Monterey architecture are generally light in color and have a smooth and refined appearance. The other architectural details are elegant and crafted as well, as seen in the Colonial or pedimented openings and wood shutters commonly associated with this style. The exterior elevation is usually painted a white or creamy beige, with accent colors on windows and doors.

Common Attributes

Massing:

- Simple, straightforward volumes sometimes with a gable wing facing the street and opposing cantilevered balcony from second story floor.

Roofs:

- Low to moderately pitched red “mission” tile gable roof with a low-pitched shed roof break over the balcony
- Tight rake and extended eaves with exposed rafter tails
- Flat concrete tile roof to mimic wood shake

Windows and Doors:

- Windows are typically individual single-hung with wood or vinyl frames with simplified white window trim.
- Simplified colonial style window shutters and door trim.
- Doors are typically simple, painted, or stained wood finish.
- Enhanced front door surrounds with pediment trim above.

Details, Finishes & Colors:

- Wood balcony and railing.
- Round tile attic vents.
- Ornate chimney top trim.
- Vertical siding accents at gable ends.
- Garage door patterns complimentary to style.
- Plastered or stuccoed walls with sand to California Monterey stucco finish.
- White painted brick.
- Homes are typically painted either white or other light colors with a second trim color.



Craftsman (Figure 16)

The Craftsman style grew out of a Bungalow architecture and was strongly influenced by the English Arts and Crafts movement. It is truly an American style which originated in Southern California and spread across the country during the 1920's and 1930's through pattern books and catalogues.

Like the bungalow, Craftsman architecture sought the elimination of superfluous ornamentation, creating beauty instead through the simplified lines and masses of the building itself. The Craftsman style is characterized by one-story masses, although many California examples include second stories, and feature low-pitched, gable roofs (occasionally hipped) with wide, unenclosed eave overhangs. Many times the roof extends to cover a full-width or partial-width front porch. Roof rafters are usually exposed, and decorative beams or braces were commonly added under gable roof ends.

The front porches are supported by heavy wood columns resting on tapered square masonry pilasters which frequently extend to the ground without a break at the level of the porch floor. The materials used in the Craftsman style were common to the region so that there was a strong integration of the structure into the landscape.

Common Attributes

Massing:

- Asymmetrical one to three story massing with horizontal proportions

Roofs:

- Horizontal gable roofs (*or variations of the gable roof, i.e., cross gable, etc.*), with dormers
- Low to medium roof pitch with moderate to generous overhang and exposed rafter tails
- Architectural quality, thick butt, 3-dimensional asphaltshingles or shingle textured flat concrete roof tiles



Essential Elements of Craftsman Design

- Shallow pitched roofs with deep overhangs
- Deep, broad porch elements with expressive structural components
- Expressive structural elements such as rafters, brackets, braces, and columns
- A mixture of materials such as stone, shingles, and wood siding
- Asymmetrical massing and window and door compositions

Windows and Doors:

- Windows are typically individual casement, vertically double or single-hung wood box or vinyl frames
- Divided upper mullioned lights as grids at front elevation and in high visibility areas
- Doors are typically simple and can be stained. (Three-light colonial door beveled glass panels and sidelights with either stained or beveled glass to match front door are also used on larger homes.)

Details & Finishes:

- Large, either full or partial entry porches under roof supported by tapered square columns or by posts on piers
- Stone, brick, stucco or clapboard piers, columns and balustrades (*often in combination*)
- Blended wood clapboard siding (or shingles) and stucco of light to medium sand finish.

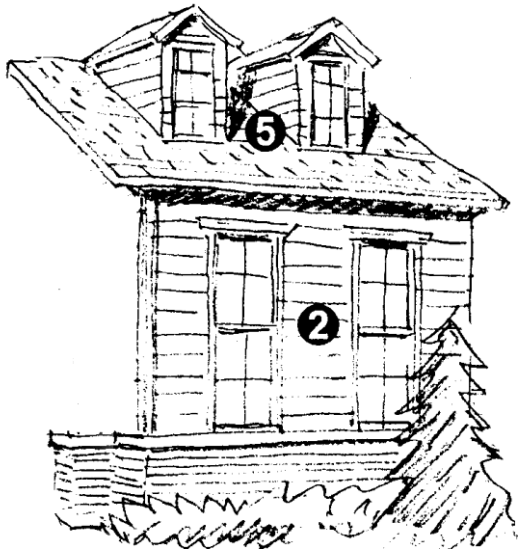
Colors:

- Painted color schemes typically consist of three (3) to five (5) colors
- Base colors are typically dark earth tones, usually browns or greens
- Trim colors are typically in contrast to the base color; darker homes use lighter color earth tones such as beiges and tans, with lighter homes using darker trim colors
- Window frames and end rafters use a third accent color, closer in shade to the base color
- Exposed roof and porch beams typically painted dark brown

Traditional (Figure 17)

Descending from the first saltbox homes built in the New England colonies in the 17th century, the American Traditional style later evolved into more neoclassical forms with America's increasing prosperity. The style is based upon simple plan form massing and roof design with a simple colonnaded entry porch.

Essential elements of American Traditional design include moderately pitched hipped roofs with a prominent central dormer, and shorter overhangs with boxed eaves. Clapboard siding in pastel to cool colors is common, along with minimum 2x4 white window and door trim and



Essential Elements of Traditional Design

1. Simple, straightforward volumes with one-story wings and porches to make more complex shapes
2. Symmetrical composition of doors and windows
3. Simplified versions of classical details and columns
4. Multi-lite windows that are wide in proportion, usually with 6 over 6 pane patterns
5. Multiple dormers with multi-lite windows



Example



contrasting shutters. Windows are typically vertical, with a multi-paned upper sash in high visibility areas and single pane lower sash.

Common Attributes:

Massing:

- Simple plan form, symmetrical two-story massing

Roofs:

- Moderately steep pitch gabled or hipped roofs, often with a prominent central dormer.
- Roof pitch over the porch breaking to a shallower pitch.
- Roof overhangs vary per interpretation.
- Boxed eaves with moulding.
- Architectural quality, thick butt, 3-dimensional asphalt shingles or smooth flat concrete roof tiles resembling slate and ranging in color from light brown to light gray.
- Round attic vents.

Windows and Doors:

- Windows are symmetrically balanced, typically rectangular double- or single-hung windows with wood or vinyl frames.
- Vertical gridded windows at front elevations and in high visibility areas, single-pane windows on sides and rear elevations.
- Upper sash is gridded with a single light lower sash.
- Doors are simple and typically stained or painted.

Details, Finishes & Colors:

- Fine to light sand finish or light lace finish stucco, clapboard siding or blended clapboard siding and stucco in pastels to cool colors with white trims.
- Entry or colonnade porch that is either the entire or partial width of the house.
- Minimum 2 x 4 wood window and door trim.
- Darker color shutters, white trim/fascias, dentils or modillions and a wide frieze band.

Cottage (Figure 18)

The Cottage style was developed in Europe in the 18th and 19th centuries and was symbolic of the charm and character of small country homes in France and England. The random elements of this style express this distinct and appealing character. The American interpretations of the



Essential Elements of Cottage Design

- Steep roof pitch with dormers
- Apparently random window and door locations
- Vertical windows in groupings
- Large simple roof planes
- Roof lines extending below windows at second floor, and to top of windows at first floor
- Simple detail
- Shallow overhangs



style include houses with simple volumes, most often with front gables and steeply pitched roofs. The principal exterior material is stucco, often mixed with stone or brick used for a base expression or on a chimney.

A mixture of color, texture and materials draws upon the earth-tone shades of stone, brick, and stucco to define this expressive character. Detail embellishment is a strong feature of the Cottage style, such as doors and windows with impressive trim or shutters, varying pitched roof lines, textured chimneys and wood or wrought iron balconies. The use of dormers and turrets was also used to enhance this style.

Common Attributes:

Massing:

- Asymmetrical forms of one- and two-story combinations typical

Roofs:

- Steeply pitched roofs with dormers
- Roof lines extending below windows at second floor and to top of windows at first floor.
- Architectural quality, thick butt, 3-dimensional asphalt shingles or smooth flat concrete roof tiles resembling slate and ranging in color from light brown to light gray
- Little or no eave projection

Windows and Doors:

- Deeply recessed windows and doors are typical.
- Front elevation windows should be proportionately taller than their width and grouped together.
- Windows should be multi-paned.
- Front doors to be dark with no sidelights.
- Avoid symmetrical spacing of doors and windows

Details, Finishes & Colors:

- Door and window trim or shutters
- Decorative iron work on windows and balconies
- Heavy textured chimneys
- Exterior walls in textured stucco with colors ranging from off-white to tans.



- Dark earth-tone colors for roofs and accent colors to be greens, ochre and similar warmer earth-tones.

Examples of these architectural styles are provided in Figures 14, 15, 16, 17 & 18 to provide visual illustrations of the elements of each style described above as well as contemporary examples of the style.

Residential Design Criteria

Design Intent – The principal design criteria and architectural styles are not intended to be restrictive, but are meant to assist in the design, processing, and implementation of a high level of design direction and quality. The historic development of homes in the Shafter area reflect function and tradition, simplicity in massing, plan and roof forms, and eventually, authentic regional styles. The intent of these design guidelines is to look back to these older established neighborhoods for inspiration, and to recapture the charm and essence of these original home styles, as well as other historic American home styles, and express them in the simple, honest manner that they originated. The Orchard Park homes will provide the kind of function, quality, value and appeal that were built into those original homes. The neighborhood park, sidewalks, and street trees will add to the traditional feeling in these neighborhoods, linking them with the overall community.

Materials & Colors

Concept: Colors can be used in a variety of ways to reduce the visual impact of building masses. Receding colors can be used on building façades, or portions of building façades, to diminish their visual impact and weight. Accent colors that are tonally related to the base line primary façade colors can act to visually subdue façade features. Use of color to emphasize changes in façade plane or to define individual units or building sections are encouraged as a way of reducing the appearance of building mass. New interpretations of classic combinations of materials and inherent colors are encouraged as they relate to a general feeling of neighborhood unity.

Criteria: A variety of natural looking material and colors will provide the diversity required for visual interest while unifying the homes with their settings and creating a timeless appeal. The primary purpose of the architectural color palette selection is to avoid monotony, provide a variety of colorful schemes and promote visual diversity. To further this goal of diversity, the following criteria shall be met: 1) Each elevation

shall have a minimum of three colors (for example, one body color, one trim color and one or two accent colors); 2) Individual color schemes must be appropriate to the architectural styles with a harmonious selection of accent materials, roof profiles and colors; 3) No single-family adjacent home shall have the same color scheme. Color palettes that reflect traditional architectural themes are the basis for successful modern interpretations.

Building Mass, Articulation & Architectural Diversity

Massing is particularly important in creating the proper context and scale within a neighborhood especially when two-story products are utilized. Control of mass and scale will also contribute to street scene visual diversity. Diversity of mass and form is achieved through the use of single-story product and sufficient vertical, horizontal and roof articulation of a building mass as shown in Figure 19, *Building Articulation*. Combinations of one and two story elements on the same building are encouraged to facilitate articulation. Dormers, gables, eaves and other projections may also be used to break up architectural forms.

Creating a Varied Street Scene: Building forms should be viewed as interlocking masses along a street scene rather than just individual boxes so that they will be able to achieve a more attractive street scene. A major component of diversity in the street scene can be achieved by utilizing a minimum of three to five different architectural styles similar to those outlined above. In addition, for each floor plan there shall be at least two elevation variations, with alternative floor plans and/or elevation styles plotted on contiguous lots.

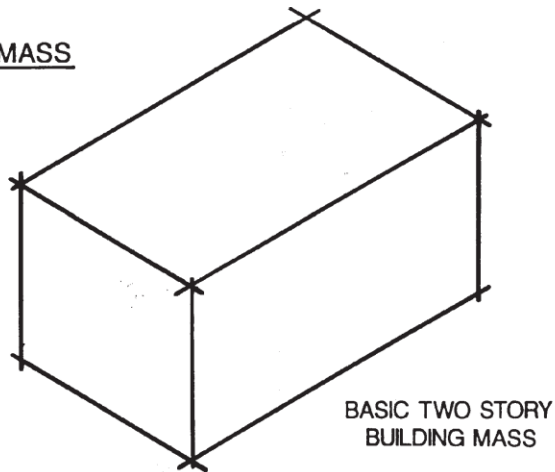
Corner Conditions: The treatment of building mass at corner locations is a key component in creating a human-scale neighborhood. Buildings occupying corner locations on public streets should wrap the corner to create an articulated building façade framing the intersection. Building mass should be formatted to incorporate single story elements and/or wrapped porch features consistent with the architectural style. Additional methods for maximizing the variety of architectural form within these constraints include: 1) Creating recessed alcoves or projected overhangs which cast shadows; 2) Sculpting major chimney forms; 3) and Utilizing dormers, bay windows, balconies, and other architectural projections.

Roof Form & Material

Roofs constitute a major architectural design element and can greatly influence building articulation and the visual street scene. A variety of roof types are permitted within the neighborhood. Roof design, materials and colors shall be consistent with the architectural style of the

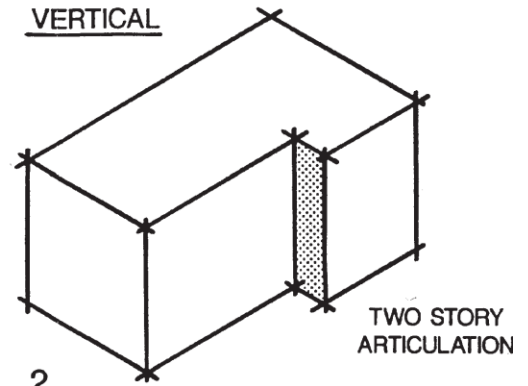
TWO STORY MASS

1



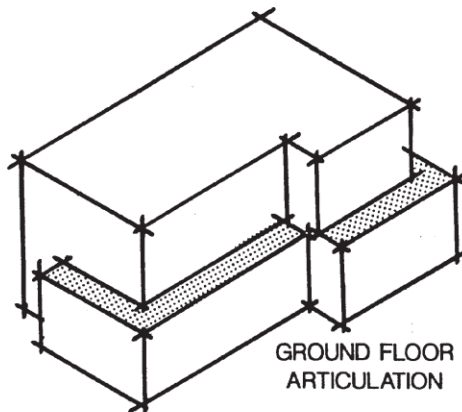
VERTICAL

2

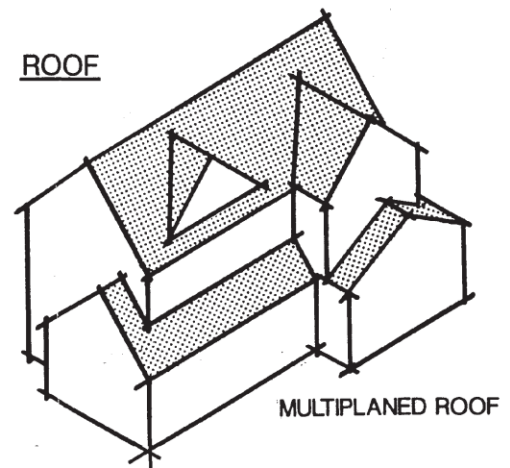


HORIZONTAL

3



ROOF



Not
To
Scale

building. Simple pitched, gable, hip or shed roof forms should be utilized, consistent with the architectural style. Varied plate heights and ridge heights should be utilized to better articulate roof forms and building mass, but consistent with the architectural style.

Roof colors and composition should vary within the plan to add variety to the street scene. Roof colors should generally be neutral earth-tone, avoiding high contrast colors such as red, oranges or ceramic blue. Roofs shall be constructed of a non-combustible material such as clay, concrete tile, or architectural quality asphalt shingle with an extended life warranty (30 year minimum).

Garages

The living area of the home and its architectural treatment should be the primary emphasis of the front elevation for two-story products. In order to maximize this objective the garage as a part of the street scene should be de-emphasized to the extent possible in each architectural style. This objective can be achieved by varying the garage placement and treatment from plan to plan. Alternatives for garage placement include:

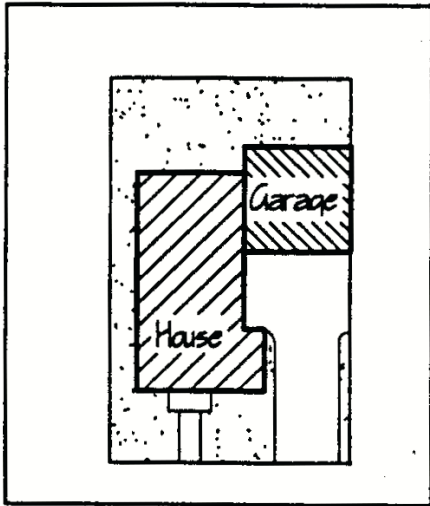
- Recessed
- Side Drive
- Swing-in or Side Entry
- Corner Lot with Side Street Entry
- Garage Forward

Figure 20, *Garage Configurations*, graphically portrays several of these alternative designs.

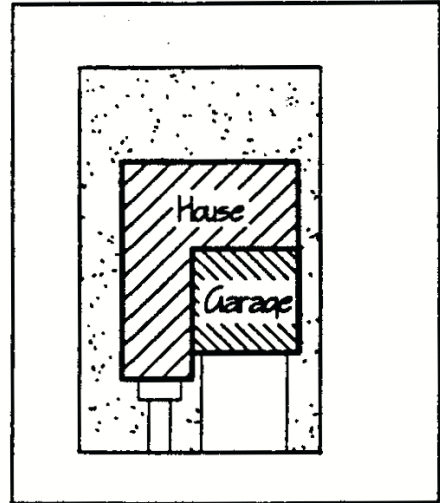
When utilizing two-story product, a variety of garage locations can greatly enhance the visual diversity of the street scene by creating significant building setback changes along the street. Swing-in or side entry garages bring the building mass towards the street while Deep Recessed garages push a portion of the building mass away from the typical setback line.

Garage door treatments shall be consistent with the architectural style of the building but shall also be varied in color or pattern along the street scene. Side elevations of swing-in garages facing the street shall have architectural detailing. All garage doors shall be sectional and roll-up.

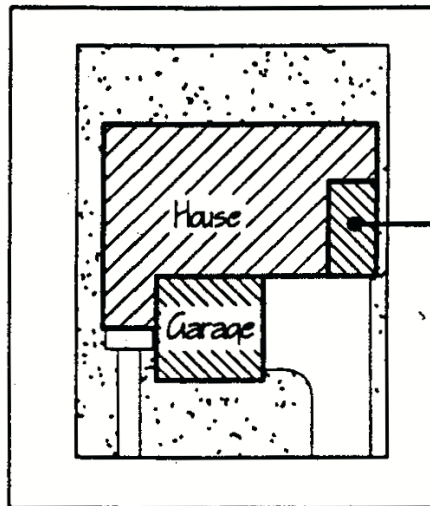
An objective of the Plan is to de-emphasize garages as part of the street scene. If three-car garages are to be used, the use of tandem garage designs should be considered and encouraged so that three-car garages appear as two from the street.



Side Drive Garage
(may be Attached or Detached)



Recessed Garage



Swing-in Garage
(w/ optional recessed garage)

Not
To
Scale

5.4 Signage & Lighting

Signage and lighting are additional elements of design continuity throughout the community. Size and/or intensity and configuration should be determined by the function of the signage or lighting and its hierarchy of information and use. Design should be determined by the location and purpose of the signage or lighting.

The following basic design principles shall be considered in the provision of signage and lighting within the Specific Plan.

1. SIGNAGE

- The number, sizes, and locations of signs within the plan should be consistent to eliminate visual confusion.
- Lettering colors should be readable as intended by the sign function but should not employ high contrast or bright colors which are out of character with the design theme of the community.
- Entry signage should clearly announce arrival to the community, neighborhood, or facility.
- Entry and identification signage and lighting should reflect the style and materials of the building and landscape architecture of their settings.
- Monument signage need not have a uniform design theme for all development areas of the project but should reflect the design character utilized for each development area, as expressed in that area's building and landscape architecture and materials.
- Signage support structures should be of natural appearing materials such as wood, materials of a wood-like appearance, stucco, materials of a stone-like appearance, wrought iron, or anodized metal material, with color and treatment consistent or complimentary with that of the primary buildings or landscape hardscape materials on the property where sited.

2. LIGHTING

- Lighting need not have a uniform design theme for all development areas of the project, but should reflect the design character utilized for each development area, as expressed in that area's building and landscape architecture and materials.
- Street lighting may be of a decorative "Orchard Park area only" design subject to safety considerations and City approval.



- Glare from property lighting shall not be visible from beyond the property line of the development lot.
- Lighting shall be shielded and directed downward to avoid glare off of the property.
- Light fixture design and location should be compatible with the architecture and landscape design of the property it is being placed on.
- Incandescent light sources are most appropriate for residential applications due to their warmer and more natural color.
- Lighting in the park and along the paseos should be subdued so as not to spill onto adjoining residential lots while at the same time balancing safety objectives. Freestanding fixtures or fixtures attached to buildings should be relatively low (not higher than 6'). Paseos should utilize low level path lighting.
- Halogen or metal halide light sources are discouraged adjacent to residential uses due to their less natural white light and intensity. Incandescent or low-pressure sodium light sources are recommended in these areas.

VI. IMPLEMENTATION

6.1 Overview

The methods and procedures for implementation and administration of this Specific Plan are contained in this Section. The following sub-sections set forth the financing and maintenance responsibilities for project implementation, procedures needed to implement the approved Plan, and the procedures required for amendment of the Specific Plan, if necessary. In order for implementation of the Specific Plan to move forward in a proactive manner, the implementation plan for the property needs to incorporate flexibility to respond to changing development conditions over time.

6.2 Financing & Maintenance Plan

Implementation and long-term maintenance of improvements within the Specific Plan are important considerations to ensure a successful development. Table 6, *Financing and Maintenance Plan*, identifies the types of improvements anticipated to implement the Specific plan, the party(s) responsible for constructing the improvements, the probable type and responsibility for funding the improvements, and responsibility for operation and maintenance of the improvements. The financing plan is intended to ensure the long-term maintenance of the improvements. A variety of financing mechanisms may be utilized in the project. A final decision on what financing mechanism will be used for any single type of improvement will be made prior to initiation of that improvement. For that reason, the table below identifies the probable financing/funding alternatives which will be considered for use.

6.3 Environmental Review

Section 15182 of Title 14, California Code of Regulations, Chapter 3 (CEQA Guidelines) provides that once environmental certification has been made and a specific plan has been adopted, any residential development project, including any subdivision or zone change, that is undertaken to implement development consistent with the Specific Plan, is exempt from additional CEQA review.

6.4 Subsequent Entitlements

Future development within the Orchard Park Specific Plan area will require individual project development permits, including approvals for subdivision, design review, and construction. Applications for these and other activities are subject to review by the city for consistency with the uses and guidelines in this Specific Plan. Such subsequent approvals shall follow appropriate established City review processes.



TABLE 6

**ORCHARD PARK SPECIFIC PLAN
FINANCING & MAINTENANCE PLAN**

Service or Facility	Construction Responsibility	Funding Responsibility / Alternatives	Operation & Maintenance Responsibility
Circulation & Transportation			
On-site Streets	Developer/Builder	Developer/Builder Funding: CL, EQ, CFD, *	City of Shafter
Off-site Street Improvements (If applicable)	Developer/Builder	Developer/Builder Funding: CL, EQ, CFD	City of Shafter
Parks & Landscaping			
Internal parkway lighting & landscaping	Developer/Builder	Developer/Builder Funding: CL, EQ, CFD/LLD	City of Shafter or Landscape & Lighting District
Neighborhood Parks & Paseos	Developer/Builder	Developer/Builder Funding: CL, EQ, CFD/LLD, DV	City of Shafter or Landscape & Lighting District
Project Entries: Landscaping & Monumentation	Developer/Builder	Developer/Builder Funding: CL, EQ, CFD/LLD	City of Shafter or Landscape & Lighting District
Utilities			
On-site Public Water Facilities	Developer/Builder	Developer/Builder Funding: CL, EQ, CFD	City of Shafter or Landscape & Lighting District
On-site Street Lighting	Developer/Builder	Developer/Builder Funding: CL, EQ, CFD	City of Shafter or Landscape & Lighting District
On-site Waste Water Collection System	Developer/Builder	Developer/Builder Funding: CL, EQ, CFD	Utility Operator
On-site Storm Drainage Facilities	Developer/Builder	Developer/Builder Funding: CL, EQ, CFD	City of Shafter
Electric, Gas, Phone, Cable TV	Developer/Builder	Developer/Builder, Utility Operator / Funding: CL, EQ, CFD, Agency Funds	Utility Operator
On-site "Fiber to the Home" System	Developer/Builder	Developer/Builder Funding: CL, EQ, CFD	City of Shafter

* Funding Sources noted by abbreviations:

CL Conventional Bank Construction Lending
 EQ Equity Financing
 CFD/LLD Community Facilities District or Landscape & Lighting District
 DV Developer Fees



Individual project approval requests and development applications for proposed development within the Specific Plan area shall file an application with the City of Shafter for review and processing as outlined below.

Tentative Subdivision Maps: Applications for tentative maps are to be filed with the city for processing according to the City's subdivision map procedures. The Planning Director shall review the application for completeness and notify the applicant of his determination within 30 days of submittal. Once an application has been deemed complete, it shall be reviewed and processed according to the provisions of Government Code Section 65090 et.seq.

Design Review: Applications for Design Review are to be filed with the City for processing according to the Development Code requirements. The Planning Director shall review the application for completeness and notify the applicant of his determination within 30 days of submittal. Once an application has been deemed complete, it shall be reviewed and processed according to the provisions of Sections 2.80, Design Review, of the City's Development Code.

6.5 Adjustments & Amendments

As with the implementation of any land development over time, certain modifications to the Specific Plan text, exhibits, and/or project may be necessary. These modifications, should they become necessary, are divided into two categories.

The first category, "administrative adjustments" or minor modifications, allow for minor changes to the Specific Plan without a public hearing or further environmental analysis, and may be approved by the Planning Director. The second category, "amendments", are required for all other changes, and are required to be approved by the Planning Commission and City Council in the same manner in which the Specific Plan was originally approved. Amendments must be found to be in substantial conformance with the objectives and design intent of the Orchard Park Specific Plan.

Adjustments and/or amendments may be requested at any time by submittal to the Planning Director for determination as to whether they constitute a minor modification and can be approved administratively by the Director as an adjustment, or they constitute an amendment and must be processed through the Commission-Council public hearing process.

Administrative adjustments and amendments are discussed in more detail below.

6.5.1 Administrative Adjustments

Certain minor adjustments to explicit provisions in the Specific Plan may be made administratively by the Planning Director without amending the Plan. These types of adjustments include:

- The addition of new information to the Specific Plan maps or text that does not change the effect of any provisions or guidelines.
- Changes to the community infrastructure such as water, sewer and drainage systems which do not have the effect of increasing or decreasing development capacity in the Specific Plan, nor change the concepts of the systems.
- Modifications in the boundaries and acreages of land use areas due to final road alignments or other technical refinements during more detailed design in the tentative tract/final map process.
- Modifications to the design guidelines contained in Section V, provided such changes are generally consistent with the community design concept.
- Other similar adjustments that, in the determination of the Planning Director, are consistent with the design objectives of the approved Specific Plan.

After the Planning Director has approved an administrative adjustment to the Plan, it shall be attached to the official copy of the Specific Plan on file at the city as an addendum.

6.5.2 Amendments

The Specific Plan may be amended in the same manner as a General Plan. It may also be amended as often as deemed necessary by the City Council.

Specific Plan amendments shall be consistent with the General Plan. Once the proposed amendment has been submitted to the City, city staff shall review the application for completeness, and then issue a notice of the upcoming public hearings. Staff shall prepare a staff report with recommendations on the amendment and forward it to the Planning Commission for consideration and action to pass their own recommendation on to the City Council for final action on the request.

Depending on the nature of the proposed amendment, a supplemental environmental analysis may be required, pursuant to CEQA Guidelines, Section 15162.

Types of changes that would require a Specific plan amendment include:

- Changes to the text or maps of the Plan other than the addition of new information which does not change the effect of any provisions or guidelines.
- Addition of permitted uses or intensity of use development beyond what is presently permitted within the various land use development areas.
- Changes in infrastructure such as drainage, water or sewer systems which have the effect of increasing capacity beyond the approved land use intensity.

In reviewing proposed amendments to the Specific Plan, the following criteria shall be used in determining an amendment's compatibility with the overall intent of the Orchard Park Specific Plan:

- Consistency with General Plan goals & policies.
- Consistency with the Orchard Park Specific Plan project objectives.
- Consistency with the Orchard Park Specific Plan design objectives.
- Consistency with the overall theme and design character established for the Orchard Park Specific plan.

DATE: May 9, 2023
TO: Planning Commission
FROM: Planning Department
SUBJECT: Specific Plan Amendment No. 23-07 (Gossamer Grove Specific Plan PA-2 & PA-3)

RECOMMENDATION:

Planning Commission conduct a public hearing; and adopt Resolution No. 23-425, a Resolution of the Planning Commission of the City of Shafter making findings and recommending the City Council of the City of Shafter adopt the Amendment (Specific Plan Amendment No. 23-07) to the Gossamer Grove Specific Plan as provided in Exhibit "A".

APPLICANT

Lennar Homes of California
8080 N. Palm Avenue, Suite 110
Fresno, CA 93711

OWNER

Lennar Homes of California
8080 N. Palm Avenue, Suite 110
Fresno, CA 93711

LOCATION: Planning Area (PA) 2 and PA-3 are located within the Gossamer Grove Specific Plan area. See **Exhibit 1**.

PROJECT DATA:

1. General Plan Designation: The current land use designation on the project site as well as the surrounding property is SP (Specific Plan).
2. Zoning: The current zoning on the project site as well as the surrounding property is SP (Specific Plan).

PROJECT ANALYSIS:

Lennar Homes of California, LLC (Lennar), is requesting to amend the Gossamer Grove Specific Plan to:

1. Relocate estate residential units from Planning Area (PA) 2 to PA-3 so that PA-2 will go from 166 estate units to 76 units and PA-3 from 0 estate units to 90 units,
2. Relocate low-density residential units from PA-3 to PA-2 so that PA-3 will go from 1,320 low-density residential units to 1,161 units and PA-2 from 1,201 low-density residential units to 1,360 units, and
3. Change the minimum interior lot width for a minimum 5,000 square-foot lot within PA-2, PA-3, and PA-5 from 50 feet to 45 feet.

The proposed revisions to the Specific Plan are essentially a reconfiguring of existing

PUBLIC HEARING

estate and low-density residential units within the Specific Plan area that have not been developed yet and accompanied by a change in interior lot width within certain Plan Areas of the Specific Plan to facilitate the reconfiguration.

The overall previously approved residential units of 3,432 for the entire Specific Plan area will not increase because of the reconfiguration of estate and low-density residential units within PA-2 and PA-3 or the change in minimum interior lot width within PA-2, PA-3, and PA-5.

SPECIFIC PLAN CONSISTENCY:

The proposed changes are consistent with the adopted Gossamer Grove Specific Plan. reconfiguring estate and low-density residential units within PA-2 and PA-3 without changing the overall maximum number of units allowed within the previously approved Specific Plan area. Additionally, the amendment changes the minimum interior lot width within PA-2, PA-3, and PA-5. None of these changes are inconsistent with the previously approved Gossamer Grove Specific Plan.

CEQA:

The amendment is within the scope and intensity of the original Gossamer Grove Specific Plan analyzed in the Program Environmental Impact Report (EIR) that was certified for the 2005 City of Shafter General Plan Update (SCH No. 2004101029). The certified Program EIR adequately describes the environmental effects of developing the Specific Plan area with a maximum of 3,432 approved residential units, and the amendment does not increase the maximum units. Therefore, per Section 15061(b)(3) of the California Environmental Quality Act Guidelines (commonly referred to as the “Common Sense exemption”), it can be seen with certainty that the action will not cause a significant effect on the environment, and therefore, the action is not subject to CEQA.

ATTACHMENTS

EXHIBIT

Approved Land Use Map
Resolution No. 23-425

1
2

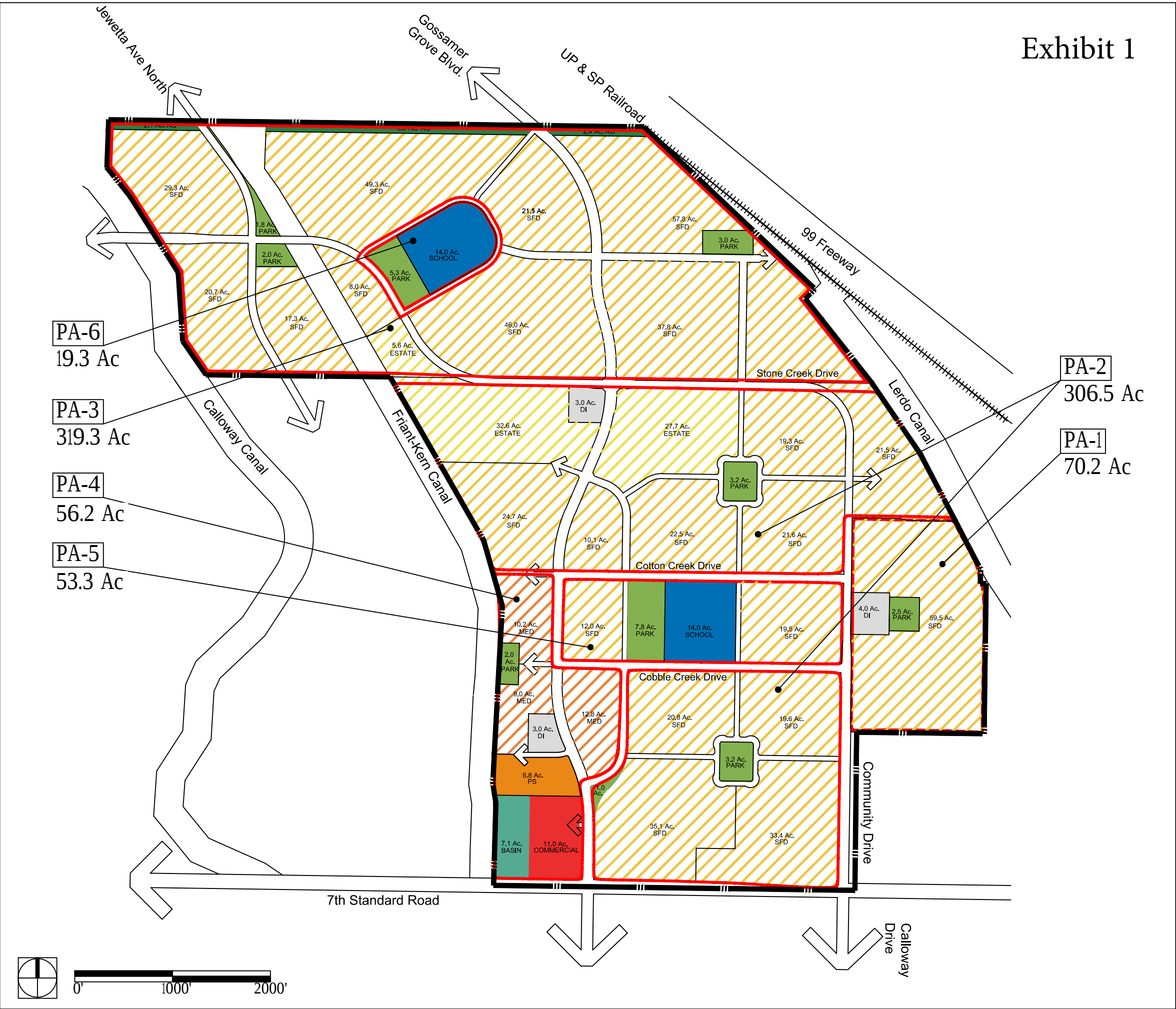


Exhibit 1

Gossamer Grove

Specific Plan

Statistical Analysis

LAND USE	PA	ACRES	DENSITY	MAX DUs
RESIDENTIAL				
Estate	PA-2/3	65.9	2.4-4.0 DU/AC	166
Low-Density Res. (LDR)	PA-1	61.2	4-7.5 DU/AC	299
Low-Density Res. (LDR)	PA-2	228.6	4-7.5 DU/AC	1,201
Low-Density Res. (LDR)	PA-3	287.3	4-7.5 DU/AC	1,320
Low-Density Res. (LDR)	PA-5	31.5	4-7.5 DU/AC	171
Medium-Density Res. (MDR)	PA-4	32.0	7.5-9 DU/AC	275
TOTAL		706.5		3,432
NON-RESIDENTIAL				
Commercial	PA-4	11.0		
Public Services	PA-4	6.8		
School	PA-5	14.0		
School	PA-6	14.0		
TOTAL		45.8		
PARKS & RECREATION				
Public Park	PA-1	2.5		
Public Park	PA-2	7.5		
Public Park	PA-3	6.8		
Public Park	PA-4	2.0		
Public Park	PA-5	7.8		
Public Park	PA-6	5.3		
Trails & Greenbelt	PA-1	2.5		
Trails & Greenbelt	PA-2	7.1		
Trails & Greenbelt	PA-3	19.2		
Trails & Greenbelt	PA-4	1.4		
TOTAL		62.1		
Public Road		102.5		
Friant-Kern Canal ROW	PA-3	19.4		
Basin	PA-4	7.1		
Drill Island		10.0		
TOTAL		139.0		
TOTAL-GROSS ACREAGE		953.4		

Note:
1.Trails and greenbelt acreages are approximate and subject to change.
2.Public road acreages are approximate and subject to change.

Land Use Plan

Figure 3-1

RESOLUTION NO. 23-425

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SHAFTER MAKING FINDINGS AND RECOMMENDING THE CITY COUNCIL OF THE CITY OF SHAFTER ADOPT THE AMENDMENT (SPECIFIC PLAN AMENDMENT NO. 23-07) TO THE GOSSAMER GROVE SPECIFIC PLAN AS PROVIDED IN EXHIBIT “A”.

WHEREAS, Lennar Homes of California, LLC (Lennar), is requesting to amend the Gossamer Grove Specific Plan to:

- 1) Relocate estate residential units from Planning Area (PA) 2 to PA-3 so that PA-2 will go from 166 estate units to 76 units and PA-3 from 0 estate units to 90 units,
- 2) Relocate low-density residential units from PA-3 to PA-2 so that PA-3 will go from 1,320 low-density residential units to 1,161 units and PA-2 from 1,201 low-density residential units to 1,360 units, and
- 3) Change the minimum interior lot width for a minimum 5,000 square-foot lot within PA-2, PA-3, and PA-5 from 50 feet to 45 feet; and

WHEREAS, the Planning Commission had determined that the Project (Specific Plan Amendment No. 23-07) is exempt from the California Environmental Quality Act (CEQA) per Section 15061(b)(3) of the CEQA Guidelines because the Project is within the scope and intensity of the original Gossamer Grove Specific Plan analyzed in the Program Environmental Impact Report (EIR) that was certified for the 2005 City of Shafter General Plan Update (SCH No. 2004101029); and

WHEREAS, the Planning Commission has determined that the certified Program EIR adequately describes the environmental effects of developing the Specific Plan area with a maximum of 3,432 approved residential units, and the Specific Plan Amendment No, 23-07 does not increase the maximum units; and

WHEREAS, the Planning Commission has determined that, per Section 15061(b)(3) of the California Environmental Quality Act Guidelines, it can be seen with certainty that the action will not cause a significant effect on the environment, and therefore, the action is not subject to CEQA; and

WHEREAS, a timely and properly noticed public hearing for Specific Plan Amendment No. 23-07 was held by the Planning Commission of the City of Shafter at a regular meeting on May 9, 2023, at which hearing evidence, oral and documentary, was admitted on behalf of said Project.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Shafter, in regular session assembled on the 9th day of May, 2023, resolved to recommend to the City Council of the City Shafter approval of Specific Plan Amendment No. 23-07, as provided in Exhibit “A”, attached hereto, and made part of this resolution.

BE IT FURTHER RESOLVED that a copy of this Resolution be delivered forthwith by the Planning Commission Secretary to the City Council of the City of Shafter.

EXHIBIT 2

PASSED AND ADOPTED THIS 9th DAY OF MAY, 2023.

John Sanchez, Chairman

ATTEST

Vanessa Uribe, Deputy City Clerk

Gossamer Grove
Specific Plan

Statistical Analysis

LAND USE	PA	ACRES	DENSITY	MAX DUs
RESIDENTIAL				
Estate	PA-2	60.3	2.4-4.0 DU/AC	166
Low-Density Res. (LDR)	PA-1	61.2	4-7.5 DU/AC	299
Low-Density Res. (LDR)	PA-2	227.4	4-7.5 DU/AC	1,201
Low-Density Res. (LDR)	PA-3	270.1	4-7.5 DU/AC	1,320
Low-Density Res. (LDR)	PA-5	31.5	4-7.5 DU/AC	171
Medium-Density Res. (MDR)	PA-4	32.0	7.5-9 DU/AC	275
TOTAL		682.5		3,432
NON-RESIDENTIAL				
Commercial	PA-4	11.0		
Public Services	PA-4	6.8		
School	PA-5	14.0		
School	PA-6	14.0		
TOTAL		45.8		
PARKS & RECREATION				
Public Park	PA-1	2.5		
Public Park	PA-2	9.5		
Public Park	PA-3	6.8		
Public Park	PA-5	7.8		
Public Park	PA-6	5.3		
Trails & Greenbelt	PA-1	2.5		
Trails & Greenbelt	PA-2	7.1		
Trails & Greenbelt	PA-3	19.2		
Trails & Greenbelt	PA-4	1.4		
TOTAL		62.1		
Public Road		108.3		
Friant-Kern Canal ROW	PA-3	19.2		
North Kern Water Storage Dist.	PA-3	18.2		
Basin	PA-4	7.1		
Drill Island		10.0		
TOTAL		163		
TOTAL-GROSS ACREAGE		953.4		

Note:
1.Trails and greenbelt acreages are approximate and subject to change.
2.Public road acreages are approximate and subject to change.

Land Use Plan

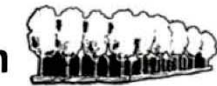


Figure 3-1

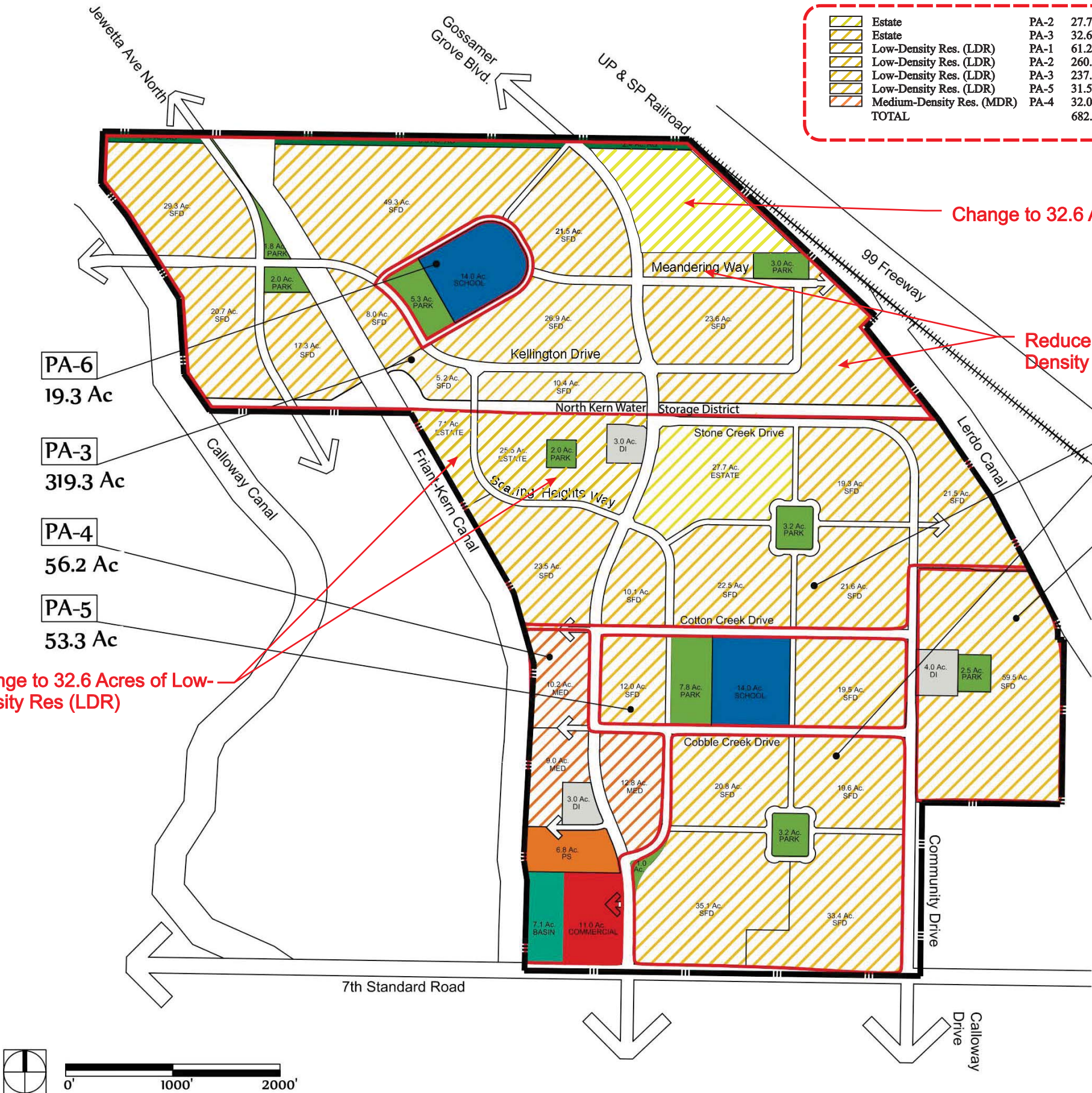
Revisions to the Residential Statistical Analysis

Estate	PA-2	27.7	2.4-4.0 DU/AC	76
Estate	PA-3	32.6	2.4-4.0 DU/AC	90
Low-Density Res. (LDR)	PA-1	61.2	4-7.5 DU/AC	299
Low-Density Res. (LDR)	PA-2	260.0	4-7.5 DU/AC	1,360
Low-Density Res. (LDR)	PA-3	237.5	4-7.5 DU/AC	1,161
Low-Density Res. (LDR)	PA-5	31.5	4-7.5 DU/AC	171
Medium-Density Res. (MDR)	PA-4	32.0	7.5-9 DU/AC	275
TOTAL		682.5		3,432

Change to 32.6 Acres of Estate

Reduce to 37.4 Acres of Low-Density Res (LDR)

Change to 32.6 Acres of Low-Density Res (LDR)





3.4.2 PLANNING AREA 2

Planning Area 2 (PA-2) consists of 306.5 net acres. It will contain a maximum of 1,360 detached dwelling units on 228.6 acres with a density range of approximately 4.0 to 7.5 dwelling units per acre and up to 152 detached dwelling units on 60.3 acres with a density range of approximately 2.4 to 4.0 dwelling units per acre. Public park space will occupy 7.5 acres and 7.1 acres will be developed as natural trails and/or paseos. Lot sizes will vary between 4,000 square feet and 7,000+ square feet within the Low Density Residential designation and 8,000 to 10,000+ within the Estate Residential designation. PA-2 is the largest land area in the Gossamer Grove Specific Plan and is divided by PA-5, which will contain two public facilities for the benefit of the community – an elementary school and a 7.5 acre park. Access to PA-2 from Seventh Standard Road will be provided either along Community Drive or Gossamer Grove Boulevard. Design considerations for PA-2 are as follows:

1. A natural trail system along Seventh Standard and the eastern and western boundaries of PA-2 shall be provided consistent with the trail system established for PA-1 and the Parks and Recreation Plan.
2. Primary and secondary paseos shall be provided where indicated in the Parks and Recreation Plan interconnecting the natural trail system and other planning areas.
3. A perimeter wall shall be provided on the eastern boundary, north and south of PA-1 and corridor walls shall be provided along major streets.
4. Enhanced landscape design features should be provided in cul-de-sacs with connections to the natural trail system as described in Section 5.
5. Two public square parks shall be provided where indicated on the Parks and Recreation Plan as well as the approximate 1 acre Pathway Park.
6. A primary entry monument shall be located at the intersection of Gossamer Grove Boulevard and Seventh Standard Road and at the secondary entrance at the intersection of Community Drive and Seventh Standard Road.
7. A three acre drill island will be located at the southwest corner of Stone Creek and Gossamer Grove Boulevard.

3.4.3 PLANNING AREA 3

Planning Area 3 (PA-3) consists of 319.3 net acres and will contain a maximum of 1,161 detached dwelling units on 287.3 acres with a density range of approximately 4.0 to 7.5 dwelling units per acre and up to 14 dwelling units on approximately 5.6 acres with a density range of approximately 2.4 to 4.0 dwelling units per acre. PA-3 will contain 6.8 acres of public parks and 19.2 acres of trails, paseos and greenbelts. PA-3 is located in the northern portion of the Specific Plan. It is bisected by the Friant-Kern Canal and surrounds PA-6. Lot sizes will be between 4,000 square feet and 7,000+ square feet for the Low Density Residential Designation. A road circulation system will be provided to link PA-3 and the remainder of the



C. MINIMUM 5,000 SF LOT (PLANNING AREA 2, PLANNING AREA 3, PLANNING AREA 5)

The following standards are applicable wherever minimum 5,000 square foot lots are planned in the LDR zone in the Gossamer Grove Specific Plan. These standards are summarized in Table 4-4 and are shown in Figure 4-4.

(1) *Maximum Density*

The minimum residential lot size shall be 5,000 square feet, including easements.

(2) *Minimum Lot Width*

Minimum lot width shall be (a) 50 feet for interior lots; (b) 55 feet for corner lots; (c) 30 feet for cul-de-sac lots along the arc of the front property line; (d) 30 feet for knuckle lots along the arc of the front property line; and (e) 55 feet for lots with side-entry garages for adequate entry/exit.

45'

(3) *Minimum Lot Depth*

Lot depth shall be a minimum of 75 feet for front loaded lots and 70 feet for cul-de-sac lots, flag lots or lots fronting on a knuckle. For purposes of this requirement, each side of the lot may be averaged if one side is longer than the other to determine the lot depth.

(4) *Front Yard Setback*

Minimum front yard setback from the front property line to the habitable portion of the structure shall be (a) 16 feet for lots adjacent to a straight street and flag lots; and (b) 20 feet for cul-de-sac or knuckle lots and (d) 10 feet to open porch.

(5) *Front Yard Setback - Garage*

Side-entry garages shall maintain a minimum front yard setback of (a) 15 feet from the garage to the front property line; and (b) 18 feet from the garage door to the front property line for front entry garages.

(6) *Rear Yard Setback*

Required rear yard setback shall be (a) 10 feet for a lot with no alley; and (b) 5 feet for a lot with an alley and (c) 10 feet to open patio cover.

(7) *Side Yard Setback - Interior Lot*

Minimum side yard setback for interior lots, cul-de-sac or knuckle lots shall be (a) 5 feet for one- or two-story homes.



Table 4-4
Development Standards Summary:
5,000 Square Foot Lots

PLANNING AREA(S)	2, 3, and 5
DEVELOPMENT STANDARDS	
Minimum Lot Area	5,000 s.f.
Minimum Lot Width:	
(a) Interior	50 ft.
(b) Corner lots	55 ft.
(c) Cul-de-sac lots	30 ft.
(d) Knuckle lots along the arc of the front property line	30 ft.
(e) Lots with side-entry garages	55 ft.
Minimum Lot Depth:	
(a) Front loaded lot	75 ft.
(b) Cul-de-sac	70 ft.
Minimum Front Yard Setback:	
(a) Front property line to habitable portion of the structure: straight street and flag lots	16 ft. 20 ft.
(b) Front property line to habitable portion of the structure: cul-de-sac	20 ft.
(c) Front property line to habitable portion of the structure: knuckle lot	10 ft.
(d) To open porch	
Minimum Front Yard Setback: Garage	
(a) Side entry	15 ft.
(b) Front entry	18 ft.
Minimum Rear Yard Setback to Habitable Structure:	
(a) No alley	10 ft.
(b) With alley	5 ft.
(c) For open patio cover (one-or two-story)	10 ft.
Minimum Side Yard Setback:	
(a) Side yard setback – interior, cul-de-sac, and knuckle lots	5 ft.
(b) Corner lot	10 ft.
(c) Reverse corner lot	10 ft.
(d) Garage loaded side yard on corner reverse lots	20 ft.
Minimum Building Separation:	
(a) Between adjacent primary two-story structures	10 ft.
(b) Between primary one-story structure and any adjacent primary structure	10 ft.
Maximum Building Height	38 ft.
(a) With architectural projections	40 ft.

45 ft.

Gossamer Grove – Specific Plan



Table 3-1 Gossamer Grove Statistical Summary				
LAND USE/(Zoning)	PLANNING AREA	NET ACRES ¹	DENSITY RANGE (DU/AC)	MAX. DWELLING UNITS ²
RESIDENTIAL				
Estate	PA-2	60.3	2.4-4.0 du/ac	166
Low-Density Residential (LDR)	PA-1	61.2	4-7.5 du/ac	299
Low-Density Residential (LDR)	PA2	227.4	4-7.5 du/ac	1,201
Low-Density Residential (LDR)	PA-3	272.1	4-7.5 du/ac	1,320
Low-Density Residential (LDR)	PA-5	31.5	4-7.5 du/ac	171
Medium Density Residential (MDR)	PA-4	32.0	7.5-9 du/ac	275
TOTAL		684.9		3,432
NON-RESIDENTIAL				
Commercial (C)	PA-4	11.0		
Public Services (PS)	PA-4	6.8		
School	PA-5	14.0		
School	PA-6	14.0		
TOTAL		45.8		
PARKS AND RECREATION³				
Public Park	PA-1	2.5		
Public Park	PA-2	9.5		
Public Park	PA-3	6.8		
Public Park	PA-5	7.8		
Public Park	PA-6	5.3		
Trails and Greenbelt	PA-1	2.5		
Trails and Greenbelt	PA-2	7.1		
Trails and Greenbelt	PA-3	19.2		
Trails and Greenbelt	PA-4	1.4		
TOTAL		62.1		
Public Road ⁴		105.9		
Friant-Kern Canal ROW	PA-3	19.4		
North Kern Water Storage District	PA-3	18.2		
Basin	PA-4	7.1		
Drill Island		10.0		
TOTAL		160.6		
TOTAL GROSS ACREAGE		953.4		
1. Developable area after exclusion of appropriate right-of-way shown on Circulation Plan. 2. Lot sizes are averaged to achieve the maximum dwelling unit count for each planning area. 3. Trails and greenbelt acreages are approximate and subject to change. 4. Public road acreages are approximate and subject to change.				

Table 3-1 Gossamer Grove Statistical Summary				
LAND USE/(Zoning)	PLANNING AREA	NET ACRES ¹	DENSITY RANGE (DU/AC)	MAX DWELLING UNITS ²
RESIDENTIAL				
Estate	PA-2	27.7	2.4-4.0 du/ac	76
Estate	PA-3	32.6	2.4-4.0 du/ac	90
Low-Density Residential (LDR)	PA-1	61.2	4-7.5 du/ac	299
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Low-Density Residential (LDR)	PA-3	237.5	4-7.5 du/ac	1,161
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Medium Density Residential (MDR)	PA-4	32.0	7.5-9 du/ac	275
TOTAL		684.9		3,432
NON-RESIDENTIAL				
Commercial (C)	PA-4	11.0		
Public Services (PS)	PA-4	6.8		
School	PA-5	14.0		
School	PA-6	14.0		
TOTAL		45.8		
PARKS AND RECREATION				
Public Park	PA-1	2.5		
Public Park	PA-2	9.5		
Public Park	PA-3	6.8		
Public Park	PA-5	7.8		
Public Park	PA-6	5.3		
Trails and Greenbelt	PA-1	2.5		
Trails and Greenbelt	PA-2	7.1		
Trails and Greenbelt	PA-3	19.2		
Trails and Greenbelt	PA-4	1.4		
TOTAL		62.1		
Public Road ⁴		105.9		
Friant-Kern Canal ROW	PA-3	19.4		
North Kern Water Storage District	PA-3	18.2		
Basin	PA-4	7.1		
Drill Island		10.0		
TOTAL		160.6		
TOTAL GROSS ACREAGE		953.4		
1. Developable area after exclusion of appropriate right-of-way shown on Circulation Plan. 2. Lot sizes are averaged to achieve the maximum dwelling unit count for each planning area. 3. Trails and greenbelt acreages are approximate and subject to change. 4. Public road acreages are approximate and subject to change.				

DATE: May 9, 2023
TO: Planning Commission
FROM: Planning Department
SUBJECT: Zone Change No. 23-71

RECOMMENDATION:

Planning Commission conduct a public hearing; and adopt Resolution No. 23-426, a Resolution of the Planning Commission of the City of Shafter recommending the City Council adopt Zone Change No. 23-71 as described in Exhibit "A" and illustrated in Exhibit "B", to the City Council of the City of Shafter.

APPLICANT

Lennar Homes of California, Inc.
8080 N. Palm Avenue, Ste 110
Fresno, CA 93711

OWNER

Lennar Homes of California, Inc.
8080 N. Palm Avenue, Ste 110
Fresno, CA 93711

LOCATION: Lot "B" is located on the northwest corner of Seventh Standard Road and future Jewetta Avenue North (APN: 536-020-03, -05, and -07).

PROJECT DATA:

1. General Plan Designation: The project site and surrounding properties are designated SP (Specific Plan) within the Gossamer Grove Specific Plan.
2. Zoning: The project site is zoned Drill Island (DI) and SP, and surrounding properties are zoned SP.
3. Acreage: 3.30 acres

PROJECT ANALYSIS:

The property owner, Lennar Homes of California, Inc., is requesting a change in zoning from Specific Plan (SP) to Drilling Island (DI) and from DI to SP on 3.30 total acres located on the northwest corner of Seventh Standard Road and future Jewetta Avenue North (see **Exhibit 1**). The location of the drilling island is identified on the Marcona Preserve Specific Plan Land Use Plan (see **Exhibit 2**), and Tentative Tract No. 7244 was conditioned to require completion of the zone change before recordation of the final map.

The proposed zone change would classify the western part of Lot "B" from DI to SP and the northern part from SP to DI (see **Exhibit "A"** and **"B"** of **Exhibit 3**).

The proposed rezoning is necessary to align the legal description of the drilling island with the current use of the land and to prevent the classification of the drilling island in residential areas. Overall, the proposed rezoning will help ensure that the land is used

PUBLIC HEARING

in a manner that is both safe and consistent with the surrounding residential area.

SPECIFIC PLAN CONSISTENCY:

The proposed changes are consistent with the adopted Marcona Preserve Specific Plan. The approved Specific Plan included a drill island in roughly the same location as what is being proposed, and this proposed zone change is essentially a clean up of the zone map so that the legal boundaries of the drilling island match the shape of the area classified as DI.

CEQA:

The proposed zone change is exempt from CEQA under Section 15061(b)(1), which is commonly referred to as the common sense exemption. This exemption applies when it can be determined with certainty that the activity in question will not have a significant effect on the environment, and therefore the activity is not subject to CEQA. The proposed zone change is a clean up intended to make Lot "B" property boundaries consistent with the zone map of the City of Shafter. As this is simply a clean up, it can be seen with certainty that there is no possibility that the zoning change may cause a significant effect on the environment.

ATTACHMENTS

EXHIBIT

Vicinity Map	1
Specific Plan Map	2
Resolution No. 23-426	3

Exhibit 1: ZC 23-71 - Vicinity Map



Legend

- Site Location
- City Limits
- Parcel Boundary

- Road Centerline Classification
- Arterial
- Airport
- Alley

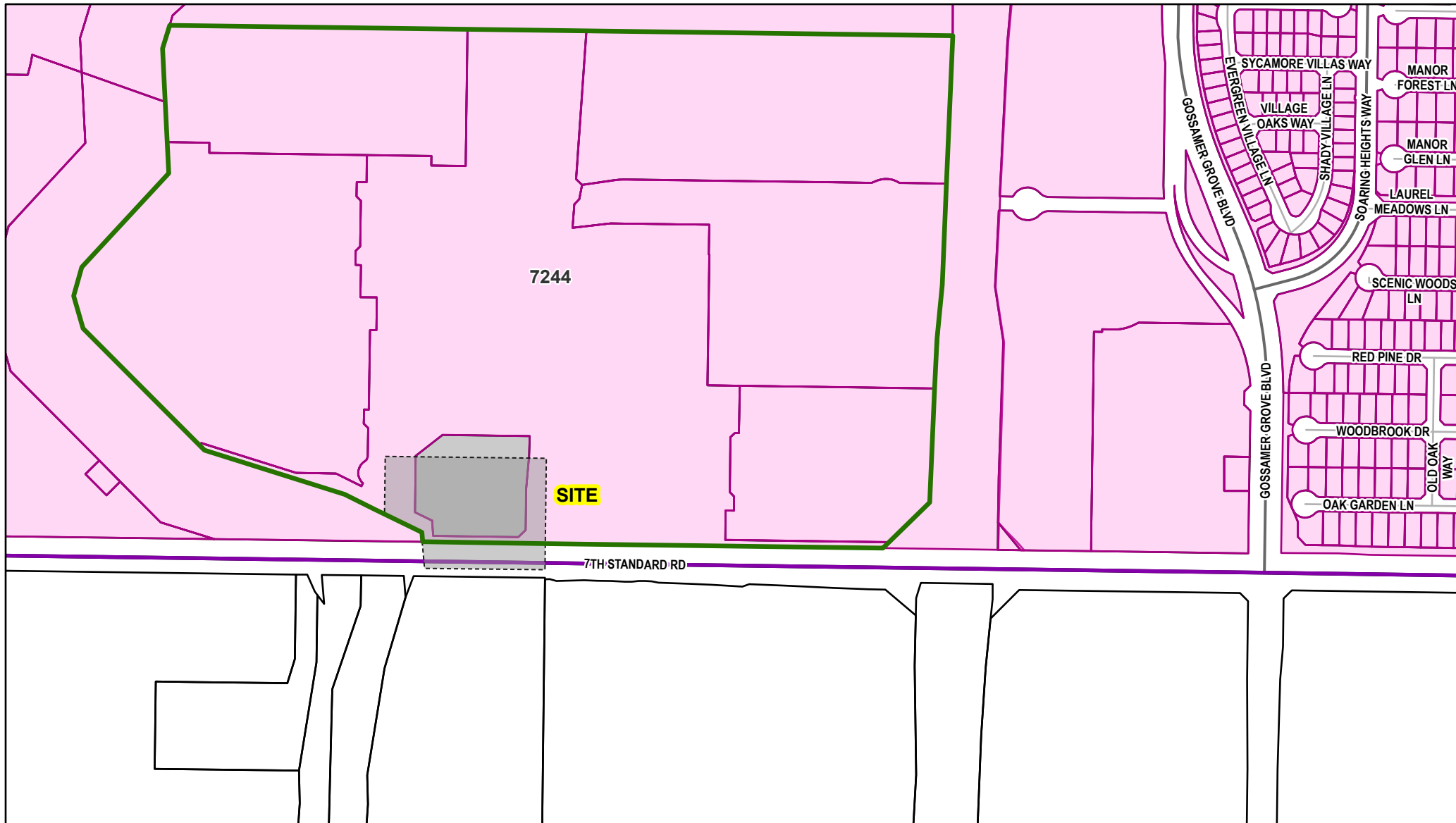
- Collector
- Dirt
- Highway
- Local
- Ramp

0 250 500 1,000 Feet



This map and the data contained within it was generated by the City of Shafter. Please consult the City of Shafter Planning Department with any questions, concerns, or potential inaccuracies that may be associated with this document.

Exhibit 2: ZC 23-72 - Specific Plan



Legend

Subdivision Projects

Tract Boundary

Zoning Classifications

Drilling Island

Specific Plan

City Limits

Parcel Boundary

0 250 500 1,000 Feet

N



This map and the data contained within it was generated by the City of Shafter. Please consult the City of Shafter Planning Department with any questions, concerns, or potential inaccuracies that may be associated with this document.

RESOLUTION NO. 23-426

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SHAFTER RECOMMENDING THE CITY COUNCIL ADOPT ZONE CHANGE NO. 23-71 AS DESCRIBED IN EXHIBIT “A” AND ILLUSTRATED IN EXHIBIT “B”, TO THE CITY COUNCIL OF THE CITY OF SHAFTER.

WHEREAS, the Planning Commission has, at its regularly scheduled meeting on May 9, 2023, studied and considered Zone Change No. 23-71, a proposal to rezone the existing zoning designation of Lot “B” (APN 536-020-03, -05, and -07) (“Project”); and

WHEREAS, Lot “B” is located on the northwest corner of Seventh Standard Road and future Jewetta Avenue North, and it is approximately 3.30 acres; and

WHEREAS, the zone change would classify the western part of Lot “B” from Drilling Island (DI) to Specific Plan (SP) and the northern part from SP to DI as shown in Exhibits "A" and "B"; and

WHEREAS, the Project involves the modification of the established zoning classification of DI to continue to allow for future oil and gas drilling operations "by-right" when the proposed operations are consistent with the development standards listed in Section 9.40 of Title 17 (Zoning Ordinance); and

WHEREAS, on August 25, 2017, the Planning Commission heard and adopted the DI zone change currently exists after considering the evidence and testimony presented at the hearing; and

WHEREAS, the legal description of the existing DI boundaries is consistent with what is shown on Revised Tentative Tract Map No. 7244; and

WHEREAS, the existing DI boundaries are not consistent with the City of Shafter zoning designation, and processing and recommending the zone change to the City Council will remedy the zoning inconsistency; and

WHEREAS, the proposed zoning is consistent with the adopted Marcona Preserve Specific Plan; and

WHEREAS, the zone change will not adversely affect the public health, safety, and welfare or result in an illogical land use pattern; and

WHEREAS, the Planning Commission has determined that, per Section 15061(b)(3) of the California Environmental Quality Act Guidelines, it can be seen with certainty that the action will not cause a significant effect on the environment, and therefore, the action is not subject to CEQA; and

WHEREAS, a timely and properly noticed public hearing for Zone Change No. 23-71 was held by the Planning Commission of the City of Shafter at a regular meeting on May 9, 2023, at which hearing evidence, oral and documentary, was admitted on behalf of said Project.

EXHIBIT 3

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Shafter, in regular session assembled on the 9th day of May, 2023, resolved to recommend to the City Council of the City Shafter approval of Zone Change No. 23-71, as provided in Exhibits “A” and “B”, attached hereto, and made part of this resolution.

BE IT FURTHER RESOLVED that a copy of this Resolution be delivered forthwith by the Planning Commission Secretary to the City Council of the City of Shafter.

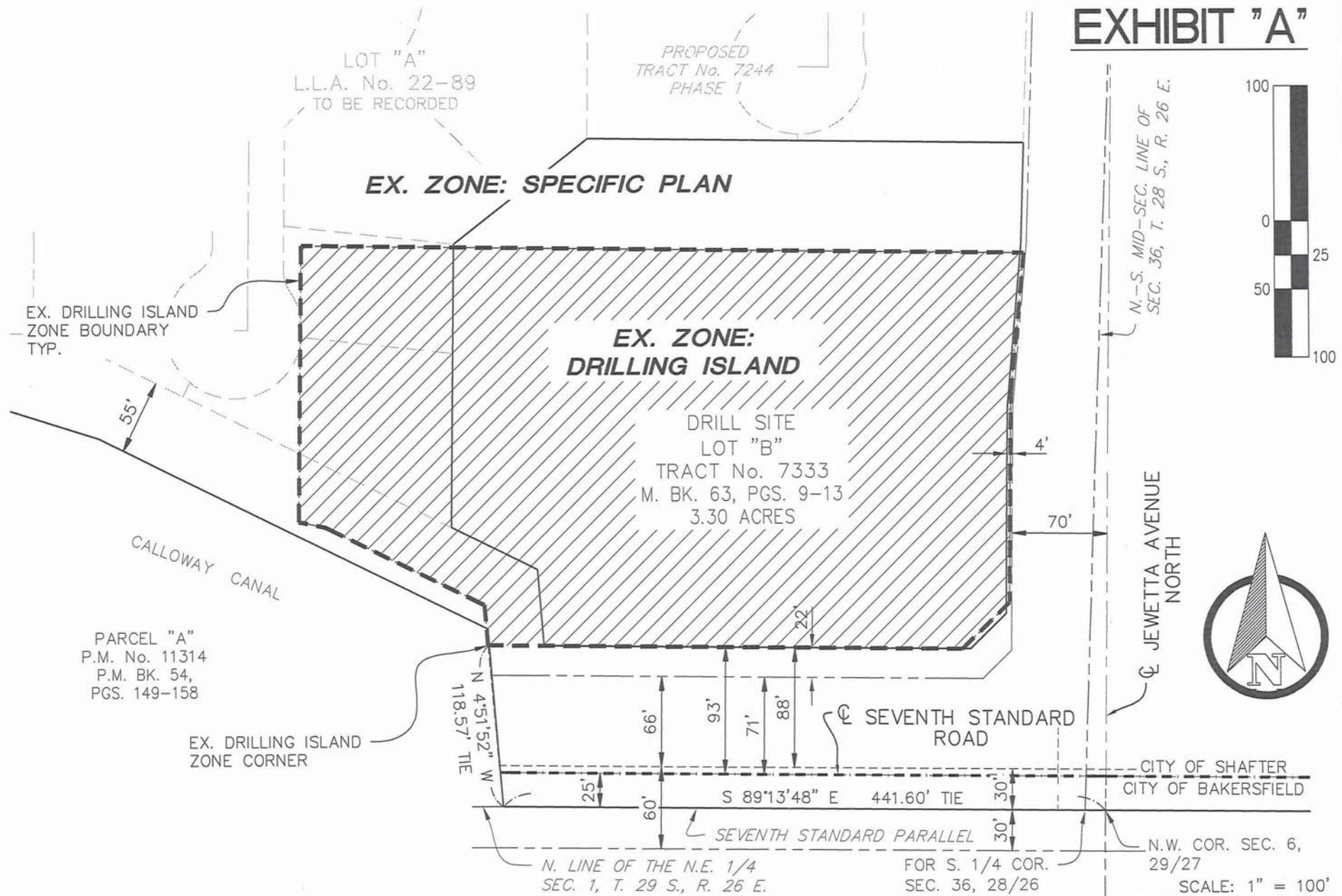
PASSED AND ADOPTED THIS 9th DAY OF MAY, 2023.

John Sanchez, Chairman

ATTEST

Vanessa Uribe, Deputy City Clerk

EXHIBIT "A"



ZONE CHANGE

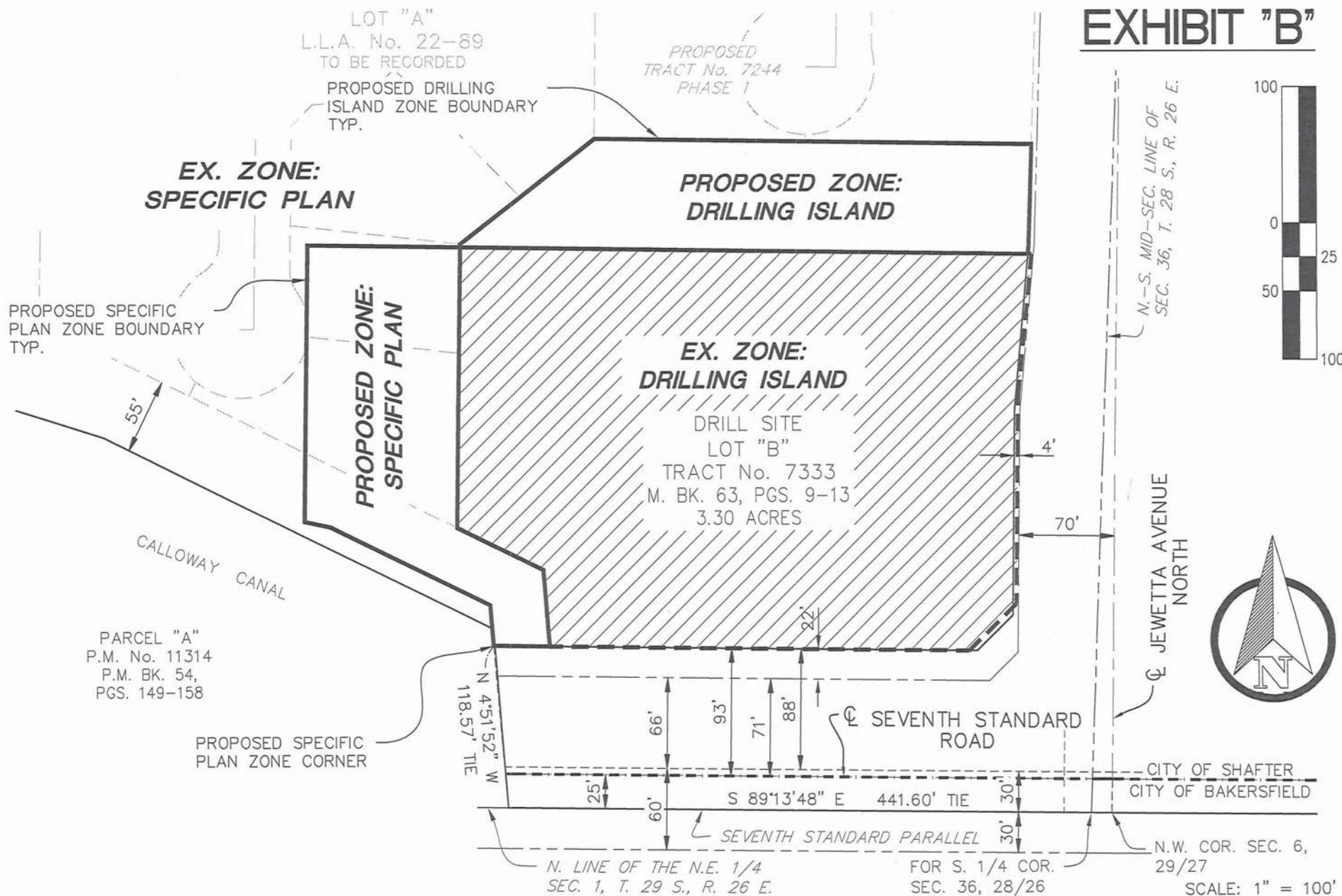
BEING A PORTION OF THE SOUTHWEST 1/4 OF SEC. 36, 28/26
EXISTING ZONE EXHIBIT "A"

McINTOSH & ASSOCIATES

NEW GEN ENGINEERING GROUP
10800 STOCKDALE HWY., # 103 BAKERSFIELD, CA 93311 (661) 834-4814

JOB No. 16-055.03
DATE: 03/09/23
FILE No. 1605503EM06
DONE BY: MEN
SHEET 1 OF 2

EXHIBIT "B"



ZONE CHANGE

BEING A PORTION OF THE SOUTHWEST 1/4 OF SEC. 36, 28/26

PROPOSED ZONE EXHIBIT "B"



NEW GEN ENGINEERING GROUP
10800 STOCKDALE HWY., # 103 BAKERSFIELD, CA 93311 (661) 834-4814

JOB No. 16-055.03
DATE: 03/09/23
FILE No. 1605503EM06
DONE BY: MEN
SHEET 2 OF 2