



336 Pacific Avenue, Shafter, CA 93263
Meeting Held In-Person and Via Zoom and Livestream on YouTube.

**AGENDA
REGULAR MEETING
SHAFTER PLANNING COMMISSION
TUESDAY, MAY 12, 2026**

NOTICE TO THE PUBLIC:

Any documents produced by the City and distributed to a majority of the Planning Commission regarding any item on this agenda will be made available in the City Clerk's Office during normal business hours at City Hall located at 336 Pacific Avenue, Shafter CA. In addition, such documents will be posted on the City's website at www.shafter.com.

CALL TO ORDER: 6:00 PM

ROLL CALL: Chairman Joshan
Vice Chairman Piuser
Commissioner Camacho
Commissioner Sanchez
Commissioner Simmons

PLEDGE OF ALLEGIANCE: Vice Chairman Piuser

INVOCATION: Commissioner Camacho

APPROVAL OF AGENDA:

PUBLIC COMMENT:

This portion of the meeting is reserved for persons wanting to address the Commission only on matters not listed on this agenda. Speakers are limited to five minutes unless additional time is needed for translation. Please state your name and address for the record before making your presentation.

MINUTES OF PREVIOUS MEETING:

1. Approval of Minutes: Regular Meeting of April 15, 2026.

PUBLIC HEARING:

Should anyone challenge any proposed action which is the subject of a public hearing listed on this agenda, that person challenging any action taken after the public hearing may be limited to raising only those issues addressed at the public hearing described

in this notice, or in written correspondence delivered to the Planning Commission at or prior to this public hearing.

- 1. Conditional Use Permit No. 26-160 (Telecommunications Facility Expansion - 4451 Fanucchi Way):** Commission conduct public hearing; adopt a Notice of Exemption pursuant to the California Environmental Quality Act; and adopt Resolution No. 26-484, a Resolution of the Planning Commission of the City of Shafter, approving Conditional Use Permit No. 26-160 to expand an existing wireless communications facility located at 4451 Fanucchi Way, Shafter, California 93263 (Assessor's Parcel Number 091-261-16). (Planning Director Esselman)

ROLL CALL

- 2. Tentative Tract Map No. 7461 Amendment of Conditions:** Commission conduct a public hearing; and adopt Resolution No. 26-485, a Resolution of the Planning Commission of the City of Shafter, recommending the City Council find the action has already complied with the California Environmental Quality Act, and approve an amendment of conditions of approval for Tentative Tract Map No. 7461, located at the northwest corner of the intersection of 7th Standard Road and the future Lake Road within the Mission Lakes Specific Plan area. (Planning Director Esselman)

ROLL CALL

COMMISSIONER REPORTS:

ADJOURNMENT:

Pursuant to the Americans with Disabilities Act, if you need special assistance to participate in a City Council Meeting, please contact the City Clerk at (661) 746-5000 at least three (3) days prior to the meeting or time the special services are needed to allow

City staff in making reasonable arrangements to provide you with access to the meeting. Any public record, relating to an open session agenda item, that is distributed within 72 hours prior to the meeting is available for public inspection in the City Clerk's

Office at Shafter City Hall, 336 Pacific Ave., Shafter, CA 93263. This is to certify that this Agenda notice was posted at City Hall and Police Dept. by 5:00 p.m., May 7, 2026.

Yazmina Pallares, S/S, City Clerk

REMOTE PUBLIC PARTICIPATION IS ALLOWED IN THE FOLLOWING WAYS, SEE BELOW FOR INSTRUCTIONS.

1. You are strongly encouraged to observe the Planning Commission meetings live via YouTube <https://www.youtube.com/user/CityofShafter/>
2. If you wish to make a comment on a specific agenda item or public comment, please submit your comment via email by **6:00 PM on May 12, 2026** to the City Clerk at CityClerk@shafter.com
3. If you wish to make a written comment to the City Clerk, 336 Pacific Avenue, Shafter, CA 93263.
4. If you wish to make a comment during the live meeting, callers must first register with the City Clerk at 661-746-5012 before the meeting begins to receive

instructions and the call- in number and code. Please call by 5:00pm on the Monday prior to the Planning Commission meeting to allow ample time for sign up. You will need to provide your name, phone number and the item number you wish to address.

5. All public comments are provided to the Planning Commission and applicable Staff, for review and consideration by the Board prior to taking action on any matters listed on the agenda and are incorporated into the official record of the Planning Commission meeting.

**MINUTES OF THE REGULAR MEETING OF THE
SHAFTER PLANNING COMMISSION
COUNCIL CHAMBER, 336 PACIFIC AVENUE
MEETING HELD IN-PERSON AND VIA ZOOM AND LIVESTREAM TO YOUTUBE
TUESDAY, APRIL 14, 2026**

CALL TO ORDER: 6:00 PM

ROLL CALL:

PRESENT (In-Person): Chairman Joshan, Vice Chairman Piuser, and Commissioners Camacho, Sanchez, and Simmons. ABSENT: Commissioner Camacho with an excused absence. Also present: Planning Director Esselman, Senior Planner Cazares, IT Specialist Herrera, City Attorney Martinez, Associate Planner Olaguez, and City Clerk Pallares.

PLEDGE OF ALLEGIANCE: Chairman Joshan

INVOCATION: Commissioner Sanchez

APPROVAL OF AGENDA:

MOVED (SANCHEZ) AND SECONDED (PIUSER) COMMISSIONERS APPROVED THE AGENDA AS PRESENTED. MOTION CARRIED BY THE FOLLOWING VOTE:

AYES: JOSHAN, PIUSER, SANCHEZ, AND SIMMONS.

NAYS: NONE.

ABSENT: CAMACHO.

ABSTENTIONS: NONE.

PUBLIC COMMENT:

There were no members of the public wishing to speak.

MINUTES OF PREVIOUS MEETING:

1. Approval of Minutes: Regular Meeting of February 10, 2026

MOVED (PIUSER) AND SECONDED (SIMMONS) COMMISSIONERS APPROVED THE MINUTES OF THE REGULAR MEETING OF FEBRUARY 10, 2026, AS PRESENTED. MOTION CARRIED BY THE FOLLOWING VOTE:

AYES: JOSHAN, PIUSER, SANCHEZ, AND SIMMONS.

NAYS: NONE.

ABSENT: CAMACHO.

ABSTENTIONS: NONE.

PUBLIC HEARING:

Should anyone challenge any proposed action which is the subject of a public hearing listed on this agenda, that person challenging any action taken after the public hearing may be limited to raising only those issues addressed at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at or prior to this public hearing.

1. **General Plan Amendment No. 25-41 and Zone Change No. 25-74 (Assessor's Parcel Numbers 028-290-03 and -04):** Planning Director Esselman made introductory comments.

Chairman Joshan opened the public hearing.

Patricia Newquist, Cornerstone Engineering, representing V Lions Holding, spoke in favor of the project and offered to answer any questions.

Being no other members of the public wishing to speak, the public hearing was closed.

MOVED (SIMMONS) AND SECONDED (SANCHEZ) COMMISSIONERS CONDUCTED A PUBLIC HEARING; AND ADOPTED RESOLUTION NO. 26-480, A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SHAFTER, RECOMMENDING APPROVAL OF GENERAL PLAN AMENDMENT NO. 25-41 AND ZONE CHANGE NO. 25-74 TO THE CITY COUNCIL OF THE CITY OF SHAFTER. THE GPA AMENDS THE CITY OF SHAFTER GENERAL PLAN LAND USE DESIGNATION FOR ONE PARCEL (APN 028-290-03) FROM VLDR (VERY LOW DENSITY RESIDENTIAL) TO LDR (LOW DENSITY RESIDENTIAL); THE OTHER PARCEL (APN 028-290-04) UNDER CONSIDERATION IS ALREADY DESIGNATED LDR. THE ZC CHANGES THE ZONE DISTRICT UNDER TITLE 17 OF THE SHAFTER MUNICIPAL CODE FOR ONE PARCEL (APN 028-290-03) FROM E (ESTATE) TO R-1 (LOW DENSITY RESIDENTIAL) AND THE OTHER PARCEL (APN 028-290-04) FROM A (AGRICULTURAL) TO R-1. EACH PARCEL IS 20.03 ACRES FOR A TOTAL OF 40.06 ACRES UNDER CONSIDERATION, AND THE TWO PARCELS ARE LOCATED AT THE SOUTHWEST AND SOUTHEAST CORNERS OF THE E. LOS ANGELES AVENUE AND S. MANNEL AVENUE INTERSECTION. MOTION CARRIED BY THE FOLLOWING VOTE:

AYES: JOSHAN, PIUSER, SANCHEZ, AND SIMMONS.

NAYS: NONE.

ABSENT: CAMACHO.

ABSTENTIONS: NONE.

2. **Development Agreement No. 25-22 (Mission Lakes Specific Plan):** Planning Director Esselman made introductory comments.

Chairman Joshan opened the public hearing.

Walter Diamond, Director of Entitlements with Lennar Homes, spoke in favor of the project and offered to answer any questions.

Being no other members of the public wishing to speak, the public hearing was closed.

MOVED (PIUSER) AND SECONDED (SIMMONS) COMMISSIONERS CONDUCTED A PUBLIC HEARING; AND ADOPTED RESOLUTION NO. 26-481, A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SHAFTER RECOMMENDING THAT THE CITY COUNCIL OF THE CITY OF SHAFTER ADOPT DEVELOPMENT AGREEMENT NO. 25-22 FOR THE MISSION LAKES SPECIFIC PLAN AREA. MOTION CARRIED BY THE FOLLOWING VOTE:

AYES: JOSHAN, PIUSER, SANCHEZ, AND SIMMONS.

NAYS: NONE.

ABSENT: CAMACHO.

ABSTENTIONS: NONE.

3. **Conditional Use Permit No. 26-161 (Rental Equipment):** Associate Planner Olaguez made introductory comments.

Chairman Joshan opened the public hearing.

Being no other members of the public wishing to speak, the public hearing was closed.

MOVED (SANCHEZ) AND SECONDED (PIUSER) COMMISSIONERS CONDUCTED A PUBLIC HEARING; AND ADOPTED RESOLUTION 26-482, A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SHAFTER APPROVING CONDITIONAL USE PERMIT NO. 26-161 TO PERMIT THE OPERATION AND STORAGE OF RENTAL EQUIPMENT ASSOCIATED WITH AN EXISTING HARDWARE STORE LOCATED ON ASSESSOR'S PARCEL NUMBER 026-101-02. MOTION CARRIED BY THE FOLLOWING VOTE:

AYES: JOSHAN, PIUSER, SANCHEZ, AND SIMMONS.

NAYS: NONE.

ABSENT: CAMACHO.

ABSTENTIONS: NONE.

- 4. Tentative Tract Map No. 7422 (Gossamer Grove Specific Plan):** Senior Planner Cazares made introductory comments.

Chairman Joshan opened the public hearing.

Walter Diamond, Director of Entitlements with Lennar Homes, spoke in favor of the project and offered to answer any questions.

Being no members of the public wishing to speak, the public hearing was closed.

MOVED (SIMMONS) AND SECONDED (SANCHEZ) COMMISSIONERS CONDUCTED A PUBLIC HEARING; AND ADOPT RESOLUTION NO. 26-483, A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SHAFTER RECOMMENDING APPROVAL OF TENTATIVE TRACT NO. 7422, AS DEPICTED IN EXHIBIT "A" WITH THE CONDITIONS OF APPROVAL AS SHOWN IN EXHIBIT "B", TO THE CITY COUNCIL OF THE CITY OF SHAFTER. MOTION CARRIED BY THE FOLLOWING VOTE:

AYES: JOSHAN, PIUSER, SANCHEZ, AND SIMMONS.

NAYS: NONE.

ABSENT: CAMACHO.

ABSTENTIONS: NONE.

COMMISSIONER REPORTS: No reports at this time.

ADJOURNMENT:

MOVED (SANCHEZ) AND SECONDED (PIUSER) COMMISSIONERS ADJOURNED THE MEETING AT 6:34 P.M. MOTION CARRIED WITH NO OPPOSITION WITH COMMISSIONER CAMACHO ABSENT.

Lovedeep Joshan, Chairman

ATTEST:

Yazmina Pallares, City Clerk

DATE: May 12, 2026
TO: Planning Commission
FROM: Planning Department
SUBJECT: Conditional Use Permit No. 26-160 (Telecommunications Facility Expansion - 4451 Fanucchi Way)

RECOMMENDATION:

Commission conduct public hearing; adopt a Notice of Exemption pursuant to the California Environmental Quality Act; and adopt Resolution No. 26-484, a Resolution of the Planning Commission of the City of Shafter, approving Conditional Use Permit No. 26-160 to expand an existing wireless communications facility located at 4451 Fanucchi Way, Shafter, California 93263 (Assessor's Parcel Number 091-261-16).

APPLICANT
Scout Services
Attn: Dan
Waddell
490 Quail Ridge Drive
Westmont, IL 60559

OWNER
City of Shafter
336 Pacific Avenue
Shafter, CA 93263

LOCATION: 4451 Fanucchi Way (APN 091-261-16). See **Exhibit 1**.

PROJECT ANALYSIS:

Scout Services, representing the City of Bakersfield, is requesting a Conditional Use Permit (CUP) to expand an existing wireless telecommunications facility located at 4451 Fanucchi Way, Shafter, CA 93263. The expansion includes groundwork that includes installing:

- Unmanned equipment shelter
- Cable ice bridge
- Diesel generator on concrete pad
- Access gate along existing fence
- Bollards
- Access road improvements

The expansion also includes tower work that includes replacing/installing:

- Mounts
- Antennas
- Coaxial cables

Exhibit 2 shows the preliminary plans for the expansion.

The purpose of the expansion is to replace existing components that are no longer supported by the manufacture and where replacement parts have become scarce, which makes maintenance more difficult. Additionally, the expansion increases radio coverage and supports simultaneous communications for police, fire, code enforcement, and park rangers for both the Cities of Shafter and Bakersfield. The expansion also includes adding an equipment shelter, generator, and bollards to improve the operations of the tower as well as increase reliability. Finally, the expansion provides easier and additional access to the tower through improvements to the access road and the inclusion of a new access gate. The City of Bakersfield's current public safety radio system is over 20 years old and no longer meets the demands of modern emergency response operations; the expansion would help alleviate this situation.

The City reviewed the Shafter Municipal Code Title 17 (Zoning Ordinance) and determined that expansion of "communication and telecommunication facilities (not including radio and television)" are an allowed use within the I District with approval of a CUP and compliance with development standards.

CEQA:

This project is categorically exempt from the California Environmental Quality Act (CEQA) per Section 15302 (Replacement or Reconstruction) and Section 15303 (Class 3 – New Construction or Conversion of Small Structures) of the CEQA Guidelines because the project consists of the replacement or reconstruction of existing structures (e.g., antennas) located on the same site as the structures being replaced and that will have substantially the same purpose as well as the construction and location of limited number of new, small structures (e.g., unmanned equipment shelter).

FINDINGS:

1. The Planning Commission finds that the proposed use is permitted within the I District is consistent with the goals, policies, and objectives of the General Plan, and is consistent with the applicable development policies and standards of the City.
2. The Planning Commission finds the proposed use would not impair the integrity and character of the I District in which the conditional use permit is to be established.
3. The Planning Commission finds that the project is suitable for the type and intensity of the use proposed for the conditional use permit.
4. The Planning Commission finds that there is adequate provision for water, sanitation, public utilities, and services to ensure public health and safety.
5. The proposed conditional use permit will not be detrimental to the public health, safety, or welfare, or materially injurious to properties and improvements in the vicinity.

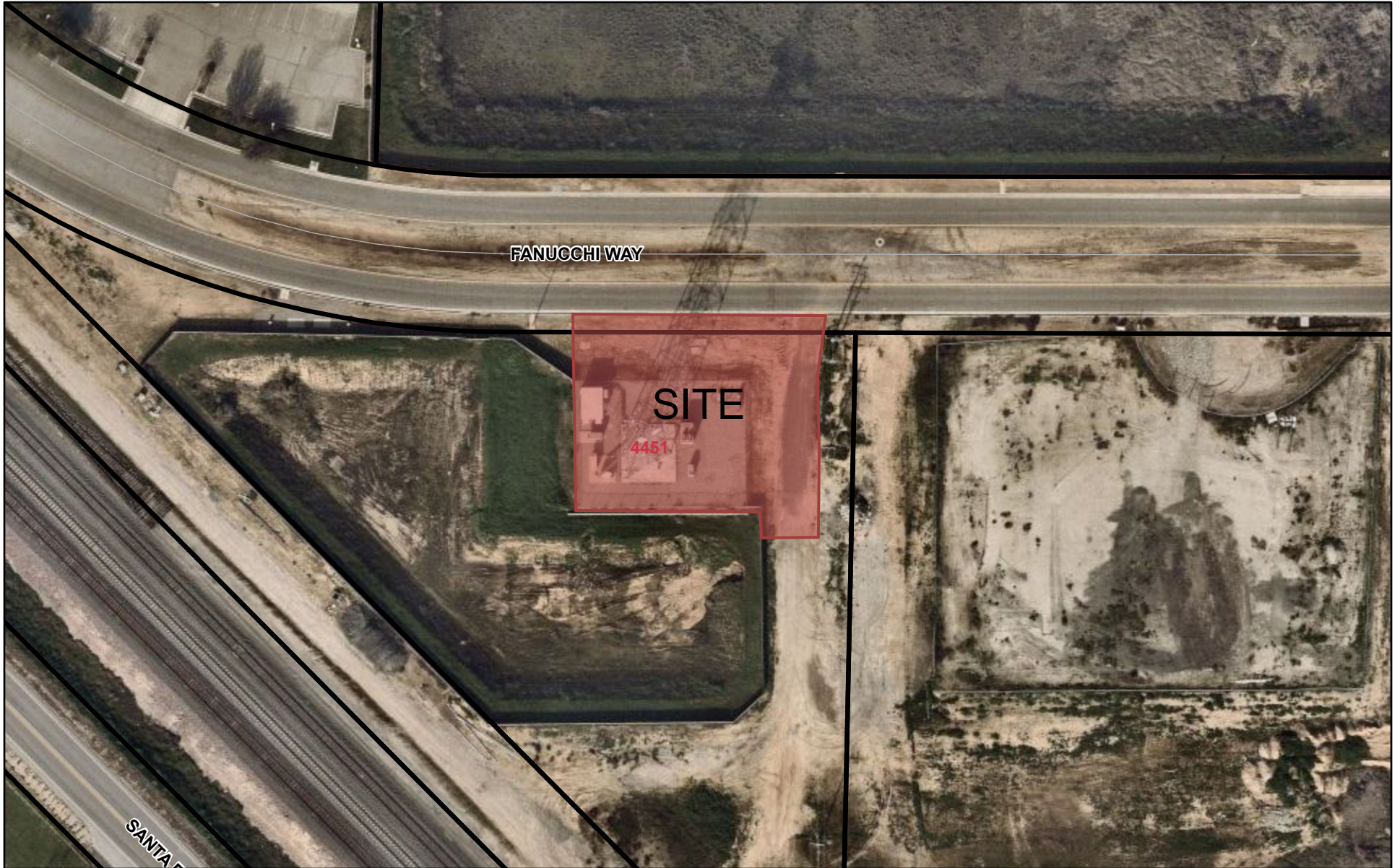
Conditional Use Permit No. 26-160 (Telecommunications Facility Expansion - 4451 Fanucchi Way)

6. The Planning Commission finds that the proposed conditional use permit (CUP No. 26-160) is Categorically Exempt from CEQA and therefore, will not have a significant impact on the environment.
7. The attached Conditions of Approval are deemed necessary for the safety and welfare of the community.



ATTACHMENTS

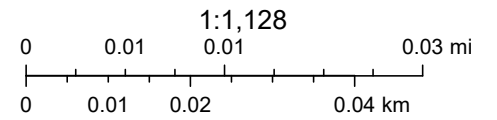
EXHIBIT

Vicinity Map	1
Preliminary Site Plan	2
Resolution No. 26-484	3



3/13/2026, 11:02:01 AM

-  Parcels 2025 July 24
-  Site



- GROUND SCOPE OF WORK**
- INSTALL (1) 10'-0" x 20'-0" UNMANNED EQUIPMENT SHELTER WITH (N) EQUIPMENT
 - INSTALL 23 LF GALVANIZED COAX CABLE ICE BRIDGE
 - INSTALL (1) 30KW DIESEL GENERATOR WITH 225 GALLON BELLY TANK WITH (N) CONCRETE PAD
 - INSTALL 12'-0" WIDE x 8'-0" TALL ACCESS GATE ALONG EXISTING FENCE
 - INSTALL (N) BOLLARDS
 - INSTALL (N) GRAVEL ACCESS DRIVEWAY WITH TURNAROUND AREA

- TOWER SCOPE OF WORK**
- INSTALL (3) SITEPRO1 #HS6-K STAND-OFF MOUNTS
 - INSTALL (3) COMMSCOPE #PM-SU4-63 PIPE MOUNTS
 - INSTALL (2) RFI #BA160-67-DIN ANTENNAS PER RF
 - INSTALL (1) COMMPROD #295-70 YAGI ANTENNA PER RF
 - INSTALL (2) COMMSCOPE #VHLP6-11W MICROWAVE ANTENNAS PER RF
 - INSTALL (1) COMMSCOPE #VHLP6-6W MICROWAVE ANTENNA PER RF
 - INSTALL (2) GTR GPS ANTENNAS PER PF
 - INSTALL (8) COAX CABLES

- ELECTRICAL, WATER, AND SEWAGE SCOPE OF WORK**
- INSTALL NEW ELECTRICAL SERVICE TO PROPOSED EQUIPMENT SHELTER.
 - NO NEW WATER OR SEWAGE TO OR FROM THE SITE.

SITE NAME: SHL - SHAFTER LMR
SITE ADDRESS: 4451 FANUCCHI WAY
 SHAFTER, CA 93263

SITE COORDINATES AND ELEVATION

LATITUDE - N 35° 26' 34.40"
 LONGITUDE - W 119° 11' 56.40"
 GRD. ELEV - 343.75± AMSL
 GP DESIGNATION - CONSERVATION
 USE CODE - 6030 - INCORPORATED CITY
 ATN - 091-261-16-00-4
 PARCEL NUMBER - 091-261-16-4
 PARCEL SIZE - 21.74 ACRES

SITE INFORMATION

PROPERTY OWNER
 CITY OF SHAFTER
 336 PACIFIC AVENUE
 SHAFTER, CA 93263

REPRESENTATIVE
 SEAN REIS
 TECHNOLOGY SERVICES SUPERVISOR
 1501 TRUXTON AVE.
 BAKERSFIELD, CA 93301
 PH: (661) 868-4013
 SREIS@BAKERSFIELD.CITY.US

APPLICANT
 SCOUT SERVICES
 DAN WADDELL
 480 QUAIL RIDGE DR.
 WESTMONT, IL 60559
 PH: (630) 413-9020
 DWADDELL@SCOUTSERVICES.COM

PROJECT MANAGER
 MOTOROLA SOLUTIONS
 GARY DURBIN
 PH: (925) 813-1902
 GARY.DURBIN@MOTOROLASOLUTIONS.COM

CONSTRUCTION MANAGER
 PYRAMID NETWORK SERVICES, LLC
 KEVIN HERRING
 PH: (951) 452-4121
 KHERRING@PYRAMIDNS.COM

ARCHITECTURAL AND ENGINEERING
 KCI TECHNOLOGIES, INC.
 4800 FALLS OF NEUSE RD.,
 SUITE 200
 RALEIGH, NC 27609
 ERIC S. KOHL, P.E.
 PH: (919) 783-9214
 ERIC.KOHL@KCI.COM

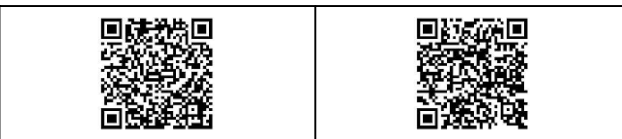
POLICE DEPARTMENT
 SHAFTER POLICE DEPT.
 201 CENTRAL VALLEY HWY
 SHAFTER, CA 93263
 PH: (661) 746-8500

FIRE DEPARTMENT
 KERN COUNTY FIRE STATION #32
 325 SUNSET AVE.
 SHAFTER, CA 93263
 PH: (661) 746-3933

CONSULTANT TEAM

PROJECT REPRESENTATIVE	RECEIVED:
	ACCEPTED:
CITY OF BAKERSFIELD REPRESENTATIVE	RECEIVED:
	ACCEPTED:
PROPERTY OWNER	RECEIVED:
	ACCEPTED:

APPROVALS



DIRECTIONS TO SITE **DIRECTIONS TO HOSPITAL**

SHL SHAFTER LMR

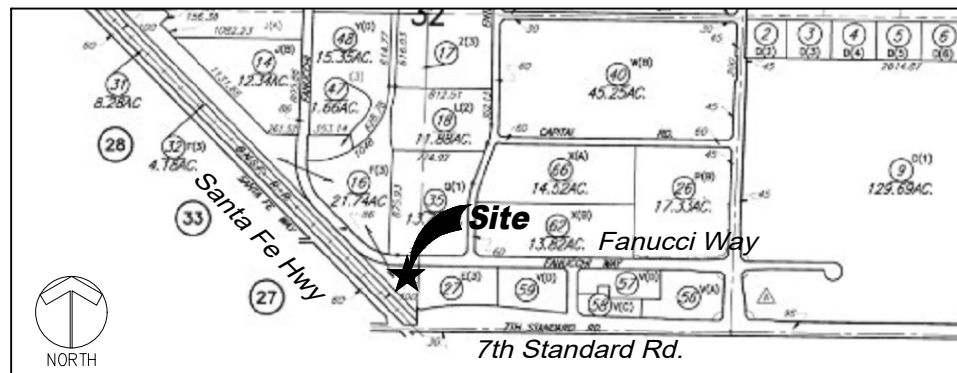
4451 FANUCCHI WAY SHAFTER, CA 93263 KERN COUNTY, CALIFORNIA

DRAWING INDEX

- ▲▲▲ T-1 PROJECT INFORMATION, LOCATION MAPS, AND DRAWING INDEX
- ▲▲▲ C-1 SITE LOCATION PLAN
- ▲▲▲ C-1.1 OVERALL SITE PLAN
- ▲▲▲ C-1.2 TOPOGRAPHY PLAN
- ▲▲▲ C-1.3 SITE SURVEY
- ▲▲▲ C-1.4 SITE SURVEY
- ▲▲▲ C-2 ENLARGED SITE PLAN
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- ▲▲▲ C-2.2 SITE SIGNAGE
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- ▲▲▲ C-3.3 ANTENNA LOADING INFORMATION
- ▲▲▲ C-4 FENCE DETAILS
- ▲▲▲ C-5 CIVIL DETAILS
- Q-1 ANTENNA SPECIFICATIONS
- Q-1.1 ANTENNA SPECIFICATIONS
- Q-1.2 ANTENNA SPECIFICATIONS
- Q-1.3 SHELTER SPECIFICATIONS

APPROVAL STAMP

Exhibit 2



LEGEND	REF. SUBD. KEY	NOTES	DISCLAIMER	
REVISED January 12, 2025	A. PM 8264 B. L.A. 99-3 C. PM 10666-PH-A D. L.A. 01-11 E. PM 10666-PH-B (LOT DESIGNATIONS IN PARENTHESES)	F. PM 11038 G. PM 11110 H. PM 11110 I. L.A. 08-35 J. L.A. 08-35 K. L.A. 10-33 L. L.A. 11-40 M. L.A. 11-40 N. PM 13-34 O. DC 13-8 P. L.A. 12-45 Q. L.A. 13-42 R. L.A. 14-50 S. L.A. 15-54 T. L.A. 16-55 U. L.A. 17-54 V. L.A. 18-75 W. L.A. 19-75 X. L.A. 21-78 Y. L.A. 21-78 Z. L.A. 23-83	▲ = Landscape Emta ▲ = For Mineral Right Units, see page 031-75.	This map is for assessment purposes only. It is not to be construed as portraying legal ownership or delineation of land for purposes of zoning or subdivision law.



ASSESSORS MAP PROVIDED BY CITY OF BAKERSFIELD, CA AERIAL MAP PROVIDED BY GOOGLE MAPS



Know what's below.
Call before you dig.
1-800-422-4133
CALL TOLL FREE

PRELIMINARY
NOT FOR
CONSTRUCTION

ENGINEER'S SEAL

▲	04/23/26	REVISED PER COMMENTS	TNW	ESK
▲	04/15/26	REVISED PER COMMENTS	TNW	ESK
H	11/25/25	ZONING DRAWINGS	TNW	ESK
G	11/19/25	ZONING DRAWINGS	TNW	ESK
F	11/14/25	ZONING DRAWINGS	TNW	ESK
#	DATE	REVISIONS	BY	CHK APP'D



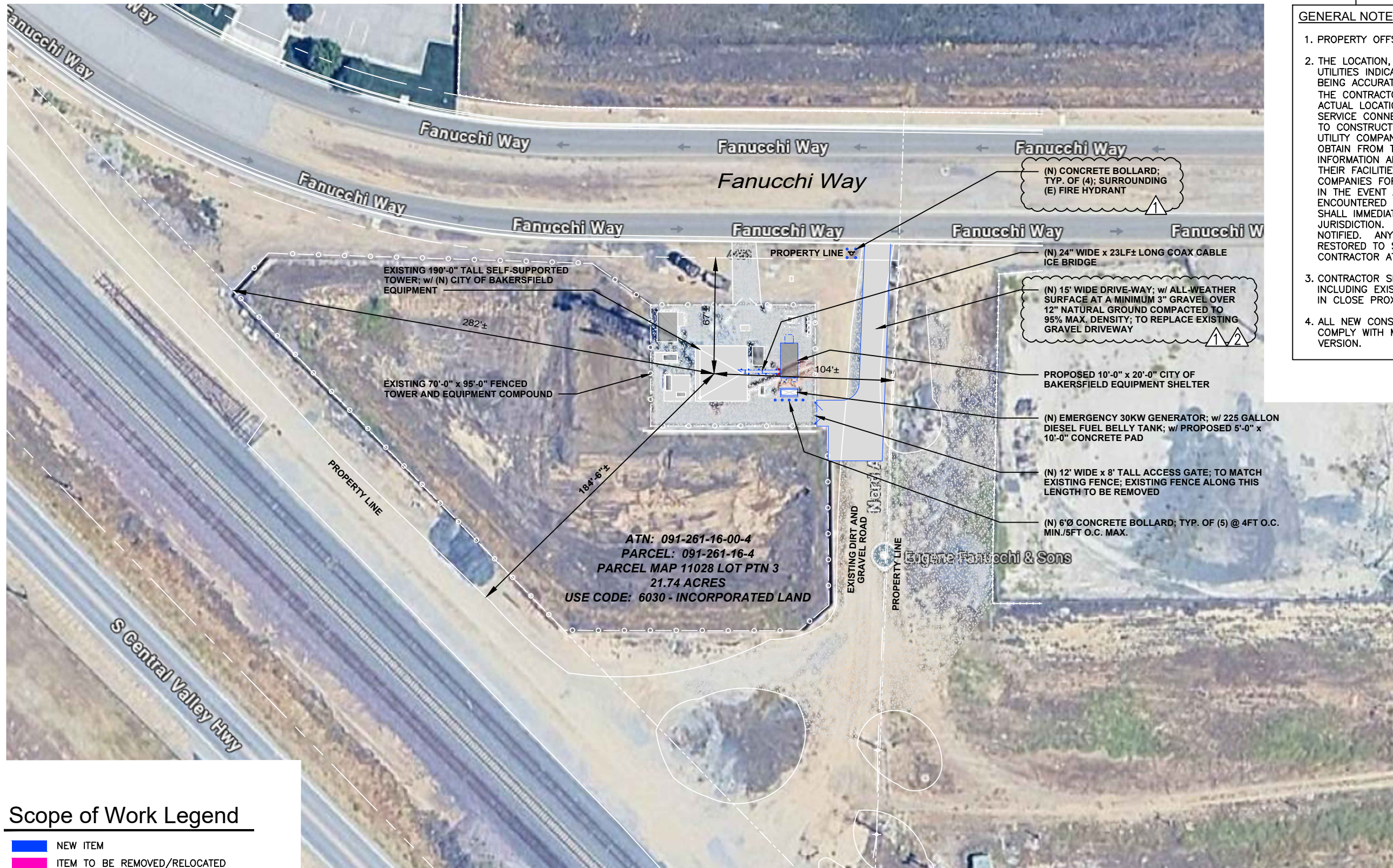
PROJECT INFORMATION, LOCATION MAPS, AND DRAWING INDEX

SHL - SHAFTER LMR
4451 FANUCCHI WAY
SHAFTER, CA 93263

T-1

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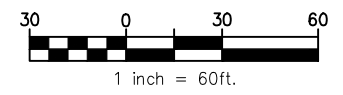
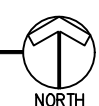
- GENERAL NOTES:**
1. PROPERTY OFFSETS ARE APPROXIMATE.
 2. THE LOCATION, SIZE, AND TYPE OF MATERIAL OF EXISTING UTILITIES INDICATED ON THE PLANS IS NOT REPRESENTED AS BEING ACCURATE, SUFFICIENT OR COMPLETE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ALL SUCH FACILITIES, INCLUDING THE SERVICE CONNECTIONS TO UNDERGROUND UTILITIES. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES OF HIS OPERATIONAL PLANS AND SHALL OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES DETAILED INFORMATION AND ASSISTANCE RELATIVE TO THE LOCATION OF THEIR FACILITIES AND THE WORKING SCHEDULE OF THE COMPANIES FOR REMOVAL OR ADJUSTMENT WHERE REQUIRED. IN THE EVENT AN UNEXPECTED UTILITY INTERFERENCE IS ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE UTILITY COMPANY OF JURISDICTION. THE ENGINEER SHALL ALSO BE IMMEDIATELY NOTIFIED. ANY SUCH MAINS AND SERVICES SHALL BE RESTORED TO SERVICE AT ONCE AND PAID FOR BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CONTRACT.
 3. CONTRACTOR SHALL NOT DISTURB UNDERGROUND UTILITIES, INCLUDING EXISTING GROUNDING. HAND DIGGING IS REQUIRED IN CLOSE PROXIMITY.
 4. ALL NEW CONSTRUCTION ACTIVITIES AND MODIFICATIONS SHALL COMPLY WITH MOTOROLA R-56 STANDARDS, APRIL 2017 VERSION.

Scope of Work Legend

- NEW ITEM
- ITEM TO BE REMOVED/RELOCATED
- EXISTING
- EXISTING (SHEET C-1)

Site Location Plan

SCALE: 1" = 60'



ANY DISCREPANCIES BETWEEN THIS DRAWING PACKAGE AND EXISTING FIELD CONDITIONS MUST BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.



**PRELIMINARY
NOT FOR
CONSTRUCTION**

#	DATE	REVISIONS	BY	CHK	APP'D
△	04/23/26	REVISED PER COMMENTS	TNW	ESK	
△	04/15/26	REVISED PER COMMENTS	TNW	ESK	
H	11/25/25	ZONING DRAWINGS	TNW	ESK	
G	11/19/25	ZONING DRAWINGS	TNW	ESK	
F	11/14/25	ZONING DRAWINGS	TNW	ESK	

KCI TECHNOLOGIES
4800 FALLS OF NEUSE ROAD
SUITE #200
RALEIGH, NORTH CAROLINA 27609
(919) 783-9214

PYRAMID Network Services, LLC

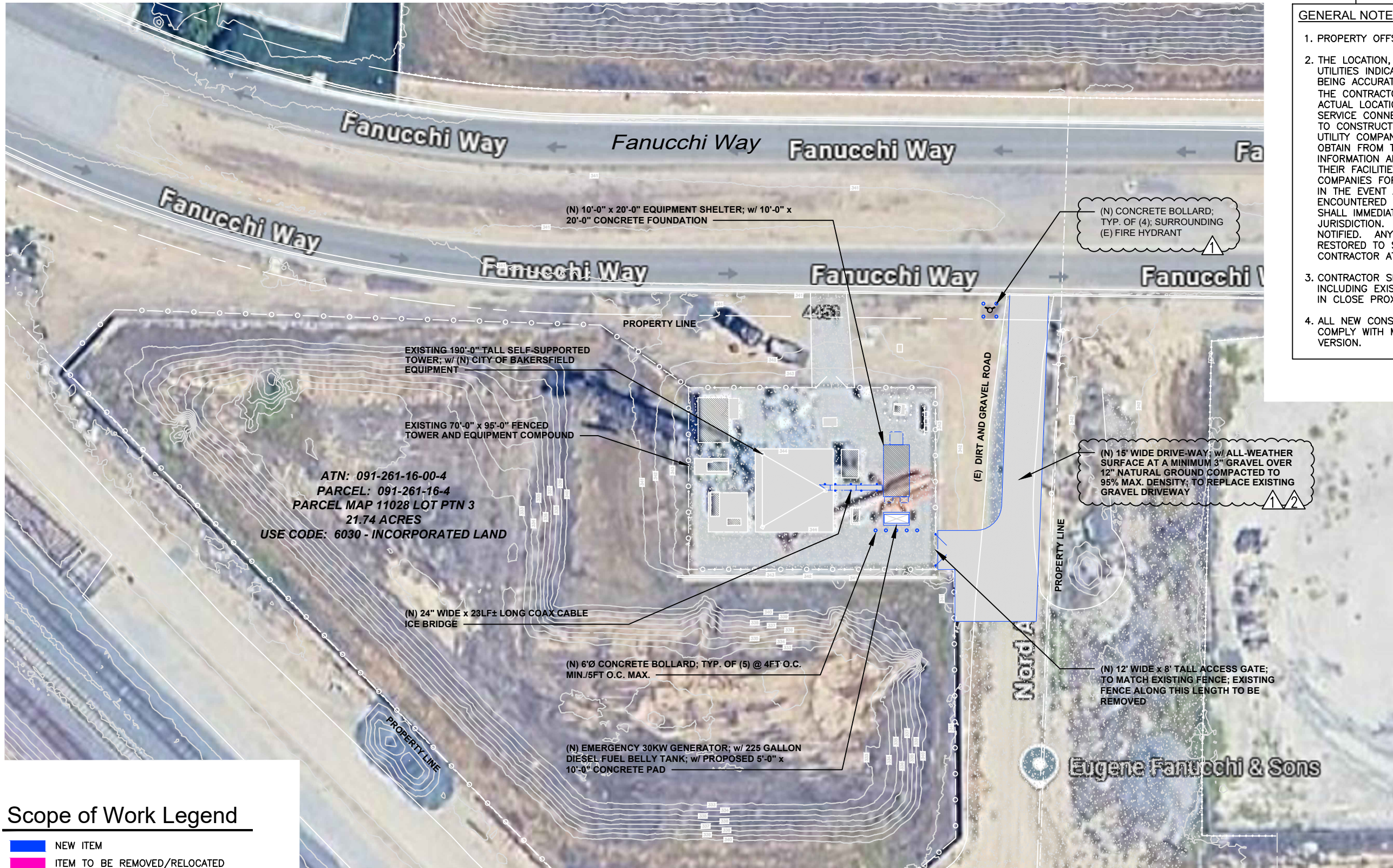
MOTOROLA SOLUTIONS



SITE LOCATION PLAN
SHL - SHAFTER LMR
4451 FANUCCHI WAY
SHAFTER, CA 93263

C-1

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- GENERAL NOTES:**
1. PROPERTY OFFSETS ARE APPROXIMATE.
 2. THE LOCATION, SIZE, AND TYPE OF MATERIAL OF EXISTING UTILITIES INDICATED ON THE PLANS IS NOT REPRESENTED AS BEING ACCURATE, SUFFICIENT OR COMPLETE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ALL SUCH FACILITIES, INCLUDING THE SERVICE CONNECTIONS TO UNDERGROUND UTILITIES. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES OF HIS OPERATIONAL PLANS AND SHALL OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES DETAILED INFORMATION AND ASSISTANCE RELATIVE TO THE LOCATION OF THEIR FACILITIES AND THE WORKING SCHEDULE OF THE COMPANIES FOR REMOVAL OR ADJUSTMENT WHERE REQUIRED. IN THE EVENT AN UNEXPECTED UTILITY INTERFERENCE IS ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE UTILITY COMPANY OF JURISDICTION. THE ENGINEER SHALL ALSO BE IMMEDIATELY NOTIFIED. ANY SUCH MAINS AND SERVICES SHALL BE RESTORED TO SERVICE AT ONCE AND PAID FOR BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CONTRACT.
 3. CONTRACTOR SHALL NOT DISTURB UNDERGROUND UTILITIES, INCLUDING EXISTING GROUNDING. HAND DIGGING IS REQUIRED IN CLOSE PROXIMITY.
 4. ALL NEW CONSTRUCTION ACTIVITIES AND MODIFICATIONS SHALL COMPLY WITH MOTOROLA R-56 STANDARDS, APRIL 2017 VERSION.

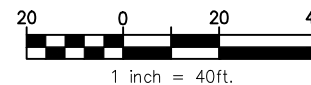
ATN: 091-261-16-00-4
 PARCEL: 091-261-16-4
 PARCEL MAP 11028 LOT PTN 3
 21.74 ACRES
 USE CODE: 6030 - INCORPORATED LAND

Scope of Work Legend

- NEW ITEM
- ITEM TO BE REMOVED/RELOCATED
- EXISTING
- EXISTING (SHEET C-1)

Overall Site Plan

SCALE: 1" = 40'



ANY DISCREPANCIES BETWEEN THIS DRAWING PACKAGE AND EXISTING FIELD CONDITIONS MUST BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.



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04/23/26	REVISED PER COMMENTS	TNW	ESK
04/15/26	REVISED PER COMMENTS	TNW	ESK
H 11/25/25	ZONING DRAWINGS	TNW	ESK
G 11/19/25	ZONING DRAWINGS	TNW	ESK
F 11/14/25	ZONING DRAWINGS	TNW	ESK
#	DATE	REVISIONS	BY CHK APP'D

KCI TECHNOLOGIES
 4800 FALLS OF NEUSE ROAD
 SUITE #200
 RALEIGH, NORTH CAROLINA 27609
 (919) 783-9214

PYRAMID Network Services, LLC

MOTOROLA SOLUTIONS



OVERALL SITE PLAN
 SHL - SHAFTER LMR
 4451 FANUCCHI WAY
 SHAFTER, CA 93263

C-1.1

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Fanucchi Way

(N) 10'-0" x 20'-0" EQUIPMENT SHELTER;
w/ 10'-0" x 20'-0" CONCRETE FOUNDATION

(N) CONCRETE BOLLARD;
TYP. OF (4); SURROUNDING
(E) FIRE HYDRANT

EXISTING 190'-0" TALL SELF-SUPPORTED
TOWER; w/ (N) CITY OF BAKERSFIELD
EQUIPMENT

EXISTING 70'-0" x 95'-0" FENCED
TOWER AND EQUIPMENT COMPOUND

ATN: 091-261-16-00-4
PARCEL: 091-261-16-4
PARCEL MAP 11028 LOT PTN 3
21.74 ACRES
USE CODE: 6030 - INCORPORATED LAND

(N) 24" WIDE x 23LF± LONG COAX
CABLE ICE BRIDGE

(N) 6"Ø CONCRETE BOLLARD; TYP. OF (5) ⊙
4FT O.C. MIN./5FT O.C. MAX.

(N) EMERGENCY 30KW GENERATOR; w/ 225
GALLON DIESEL FUEL BELLY TANK; w/ (N)
5'-0" x 10'-0" CONCRETE PAD

(N) 15' WIDE DRIVE-WAY; w/
ALL-WEATHER SURFACE AT A
MINIMUM 3" GRAVEL OVER 12"
NATURAL GROUND COMPACTED TO
95% MAX. DENSITY; TO REPLACE
EXISTING GRAVEL DRIVEWAY

(N) 12' WIDE x 8' TALL ACCESS
GATE; TO MATCH EXISTING FENCE;
EXISTING FENCE ALONG THIS
LENGTH TO BE REMOVED

APPROVAL STAMP

GENERAL NOTES:

1. PROPERTY OFFSETS ARE APPROXIMATE.
2. THE LOCATION, SIZE, AND TYPE OF MATERIAL OF EXISTING UTILITIES INDICATED ON THE PLANS IS NOT REPRESENTED AS BEING ACCURATE, SUFFICIENT OR COMPLETE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ALL SUCH FACILITIES, INCLUDING THE SERVICE CONNECTIONS TO UNDERGROUND UTILITIES. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES OF HIS OPERATIONAL PLANS AND SHALL OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES DETAILED INFORMATION AND ASSISTANCE RELATIVE TO THE LOCATION OF THEIR FACILITIES AND THE WORKING SCHEDULE OF THE COMPANIES FOR REMOVAL OR ADJUSTMENT WHERE REQUIRED. IN THE EVENT AN UNEXPECTED UTILITY INTERFERENCE IS ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE UTILITY COMPANY OF JURISDICTION. THE ENGINEER SHALL ALSO BE IMMEDIATELY NOTIFIED. ANY SUCH MAINS AND SERVICES SHALL BE RESTORED TO SERVICE AT ONCE AND PAID FOR BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CONTRACT.
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Scope of Work Legend

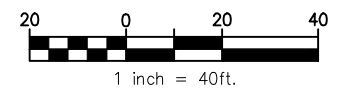
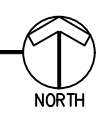
- NEW ITEM
- ITEM TO BE REMOVED/RELOCATED
- EXISTING
- EXISTING (SHEET C-1)

Contour Legend

- ✕ -xxx.xx SPOT ELEVATION (SUB-GRADE)
- EXISTING CONTOUR - MINOR
- EXISTING CONTOUR - MAJOR
- NEW CONTOUR
- LOD — NEW LIMIT OF DISTURBANCE
- SF — NEW SILT FENCE
- TP — NEW TREE PROTECTION FENCE

Topography Plan

SCALE: 1" = 40'



ANY DISCREPANCIES BETWEEN THIS
DRAWING PACKAGE AND EXISTING FIELD
CONDITIONS MUST BE REPORTED TO
THE ENGINEER OF RECORD PRIOR TO
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Network Services, LLC

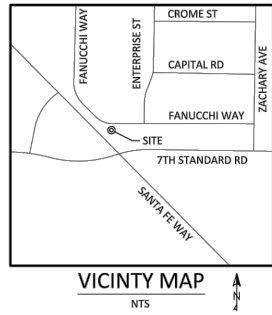
MOTOROLA
SOLUTIONS



TOPOGRAPHY PLAN
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SHAFTER, CA 93263

C-1.2

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REFERENCES:

R1 BEARING AND/OR DISTANCE PER PARCEL MAP NO. 11028 RECORDED OCTOBER 20, 2004 IN BOOK 53, PAGE 156 OF PARCEL MAPS

LEGAL DESCRIPTION PER TITLE REPORT:

PARCEL 3 OF PARCEL MAP 11028 IN THE CITY OF SHAFER, COUNTY OF KERN, STATE OF CALIFORNIA, AS PER MAP RECORDED OCTOBER 20, 2004 IN BOOK 53, PAGES 156 THROUGH 159 INCLUSIVE, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

GENERAL INFORMATION:

1. APN: 091-261-16-4
2. PROPERTY OWNER: CITY OF SHAFER, A CALIFORNIA MUNICIPAL CORPORATION
3. ZONING DESIGNATION: I (INDUSTRIAL)

FLOODPLAIN DESIGNATION:

THE TOWER LOCATION SHOWN HEREON IS NOT LOCATED IN A 100-YEAR FLOODPLAIN

ZONE X
FEMA MAP NUMBER: 06029C1800E
EFFECTIVE DATE: SEPTEMBER 26, 2008

TITLE REPORT INFORMATION:

REFERENCE IS MADE TO THE TITLE REPORT
FILE NO.: UST80144
REFERENCE NO.: SHAFER LMR
ISSUED BY: U.S. TITLE SOLUTIONS
DATED: APRIL 16, 2025

EASEMENTS CONTAINED WITHIN SAID REPORT AFFECTING THE IMMEDIATE AREA:

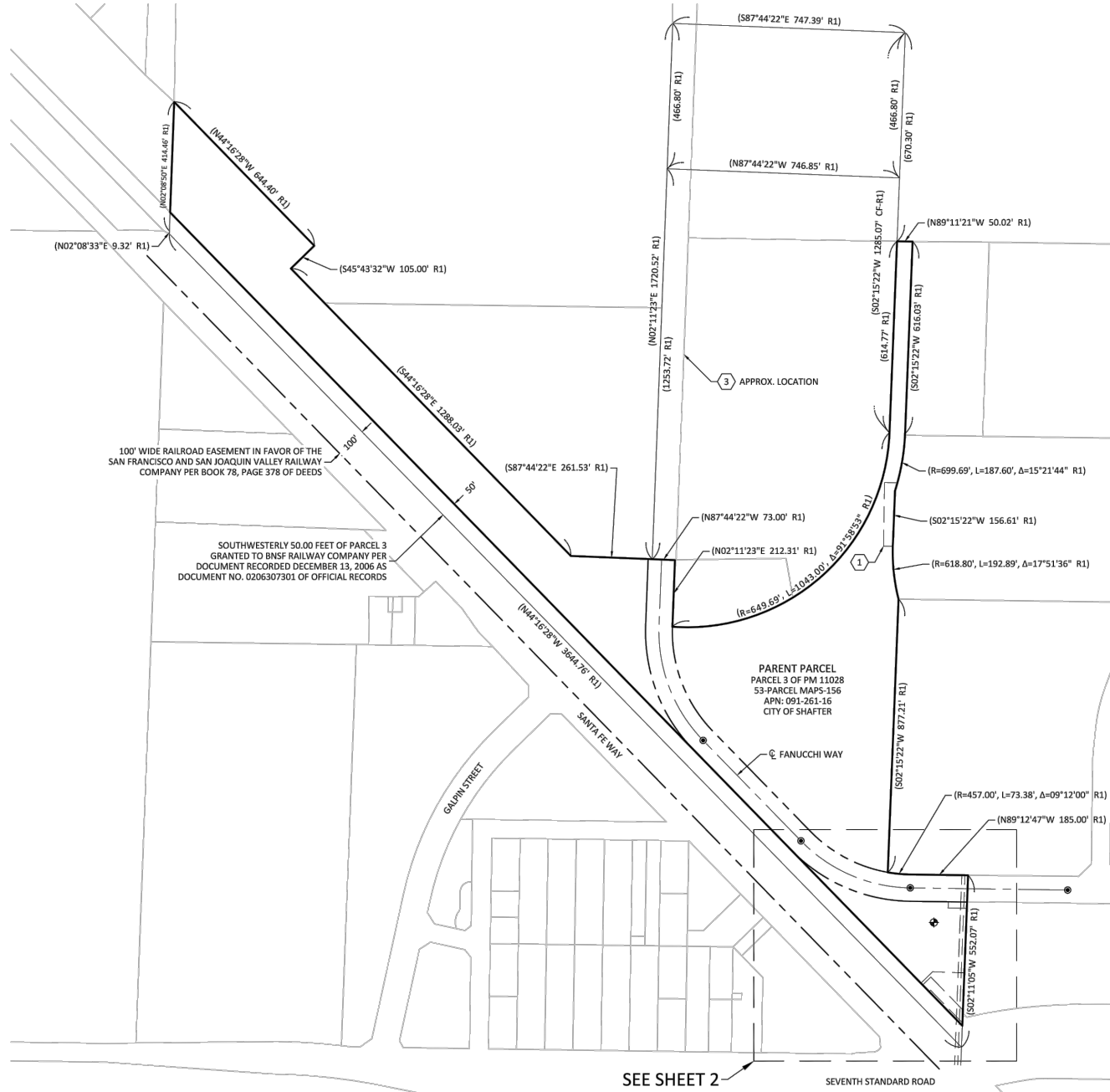
1. NO-BUILD AGREEMENT BY CITY OF SHAFER TO WEATHERFORD ARTIFICIAL LIFT SYSTEMS, INC. PER DOCUMENT RECORDED AUGUST 22, 2012 AS INSTRUMENT NO. 0212116543, OFFICIAL RECORDS
2. FACILITY EASEMENT IN FAVOR OF PG&E PER DOCUMENT RECORDED OCTOBER 10, 2011 AS INSTRUMENT NO. 0211131668, OFFICIAL RECORDS
3. ROAD EASEMENT PER DOCUMENT RECORDED FEBRUARY 14, 2011 AS INSTRUMENT NO. 000211020185 OF OFFICIAL RECORDS (EXACT LOCATION CANNOT BE PLOTTED FROM RECORD INFORMATION; AFFECTS THE NORTHERLY EXTENSION OF FANUCCHI WAY, NORTH OF TOWER SITE)
4. JOINT USE AGREEMENT & GRANT OF EASEMENTS IN FAVOR OF EQUILON ENTERPRISES LLC PER DOCUMENT RECORDED MAY 12, 2010 AS INSTRUMENT NO. 0210063065 OF OFFICIAL RECORDS
5. JOINT USE AGREEMENT & GRANT OF EASEMENTS IN FAVOR OF CHEVRON U.S.A., INC. PER DOCUMENT RECORDED MAY 12, 2010 AS INSTRUMENT NO. 0210063064 OF OFFICIAL RECORDS
6. WIRELINE EASEMENT IN FAVOR OF ANT II, LLC PER DOCUMENT RECORDED MAY 25, 2005 AS INSTRUMENT NO. 0205134489 OF OFFICIAL RECORDS (EXACT LOCATION CANNOT BE PLOTTED FROM RECORD INFORMATION)
7. WATER PIPELINE EASEMENT IN FAVOR OF CITY OF SHAFER PER DOCUMENT RECORDED NOVEMBER 10, 1999 AS INSTRUMENT NO. 0199162517 OF OFFICIAL RECORDS (DOES NOT AFFECT SUBJECT PARCEL)
8. PIPELINE EASEMENT IN FAVOR OF GETTY OIL COMPANY PER DOCUMENT RECORDED MARCH 18, 1982 IN BOOK 5445, PAGE 496 OF OFFICIAL RECORDS (EXACT LOCATION CANNOT BE PLOTTED FROM RECORD INFORMATION)
9. COMMUNICATION EASEMENT IN FAVOR OF THE PACIFIC TELEPHONE AND TELEGRAPH COMPANY PER DOCUMENT RECORDED APRIL 28, 1977 IN BOOK 5023, PAGE 1697 OF OFFICIAL RECORDS

BENCHMARK
CONTROL POINT: 10
DESCRIPTION: REBAR WITH PLASTIC CAP IN SOUTH SIDE OF FANUCCHI WAY 3450' EAST OF TOWER SITE
NORTHING: 2349668.24
EASTING: 6204984.68
ELEVATION: 342.25

BASIS OF BEARINGS
NORTH AMERICAN DATUM OF 1983 (NAD83) CALIFORNIA COORDINATE SYSTEM (CCS), ZONE 5 WAS USED AS THE BASIS OF BEARINGS AS SHOWN HEREON.
BASIS OF ELEVATIONS
THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) WAS USED AS THE BASIS OF ELEVATION AS SHOWN HEREON.

POINT OF ORIGIN:
DESIGNATION: BUTTONWILLS2005 CORS ARP
CORS ID: P563
PID: DN7566
EPOCH: 2010.00
N: 2341686.41
E: 6138227.67
EL: 300.71

SURVEYOR'S STATEMENT:
THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT.
BRYAN D. BOYDSTUN, PLS
DATE: August 12, 2025



POSITION OF GEODETIC COORDINATES
CENTER OF TOWER
LAT: 35.44287
LONG: -119.159
N: 2349634.33
E: 6204521.33
ELEV: 343.76

LEGEND

- FOUND MONUMENT
- EDGE OF PAVEMENT (EP)
- FENCE
- NG NATURAL GROUND
- ℓ FLOWLINE
- TC TOP OF CONCRETE
- FC FACE OF CURB
- EV ELECTRIC VAULT
- CF CALCULATED FROM



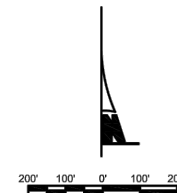
POINT CLOUD VIEWER - LINK



TOPOGRAPHY SURVEY
00009-SHAFTER LMR
PYRAMID / MOTOROLA
KERN COUNTY, CA
SHEET 1 OF 2

SURVEYOR'S NOTES:

1. THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.
2. FIELD WORK FOR THIS PROJECT WAS PERFORMED ON 07/25/2025
3. SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE.
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APPROVAL STAMP

**PRELIMINARY
NOT FOR
CONSTRUCTION**

ENGINEER'S SEAL

04/23/26	REVISED PER COMMENTS	TNW	ESK
04/15/26	REVISED PER COMMENTS	TNW	ESK
11/25/25	ZONING DRAWINGS	TNW	ESK
11/19/25	ZONING DRAWINGS	TNW	ESK
11/14/25	ZONING DRAWINGS	TNW	ESK
#	DATE	REVISIONS	BY
			CHK APP'D



SITE SURVEY
SHL - SHAFER LMR
4451 FANUCCHI WAY
SHAFER, CA 93263

C-1.3

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REFERENCES:

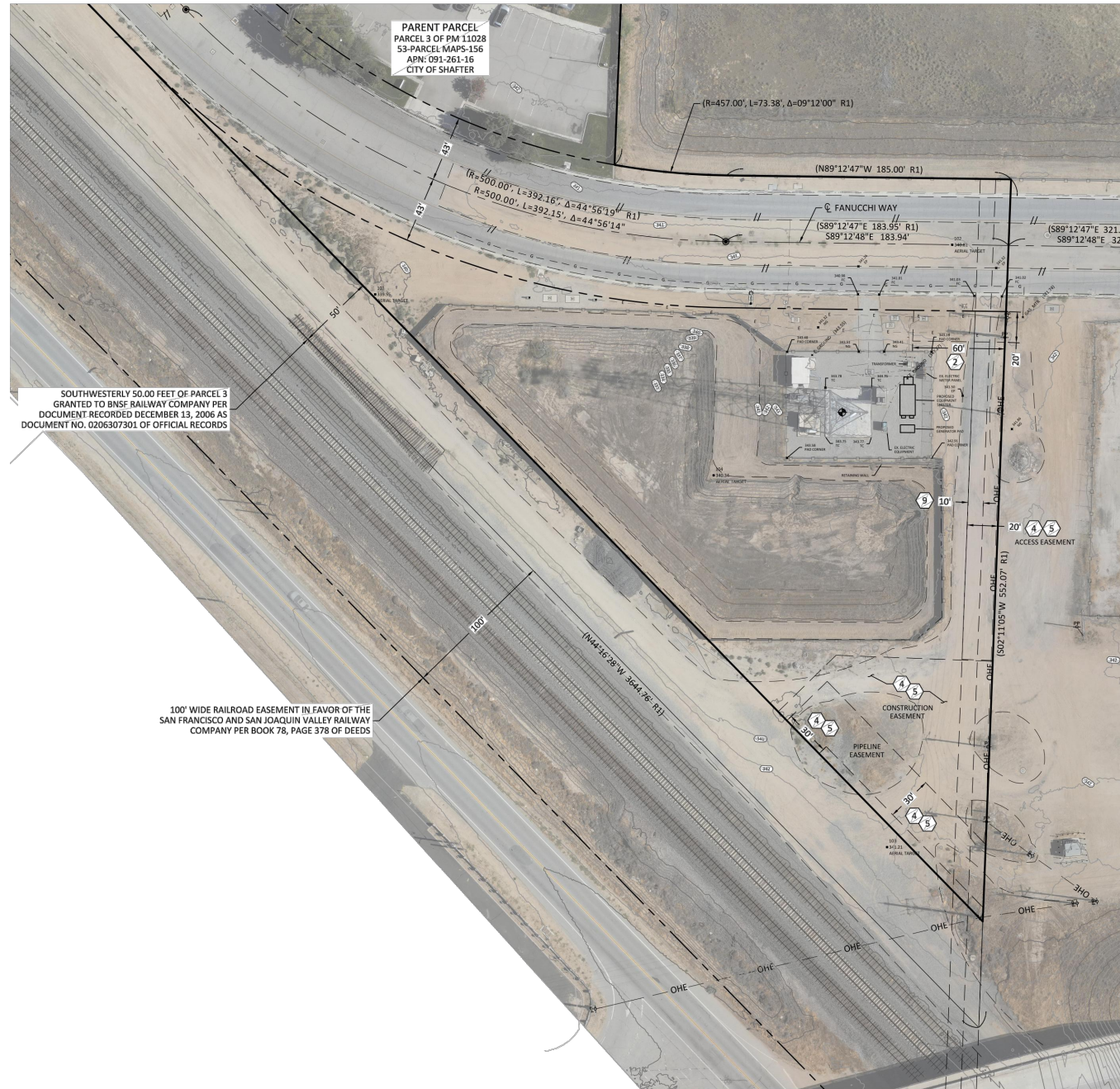
R1 BEARING AND/OR DISTANCE PER PARCEL MAP NO. 11028 RECORDED OCTOBER 20, 2004 IN BOOK 53, PAGE 156 OF PARCEL MAPS

TITLE REPORT INFORMATION:

REFERENCE IS MADE TO THE TITLE REPORT
 FILE NO.: UST80144
 REFERENCE NO.: SHAFTER LMR
 ISSUED BY: U.S. TITLE SOLUTIONS
 DATED: APRIL 16, 2025

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- 9 COMMUNICATION EASEMENT IN FAVOR OF THE PACIFIC TELEPHONE AND TELEGRAPH COMPANY PER DOCUMENT RECORDED APRIL 28, 1977 IN BOOK 5023, PAGE 1697 OF OFFICIAL RECORDS



POSITION OF GEODETIC COORDINATES
 CENTER OF TOWER
 LAT: 35.44287
 LONG: -119.159
 N: 2349634.33
 E: 6204521.33
 ELEV: 343.76

APPROVAL STAMP

LEGEND

- FOUND MONUMENT
- EDGE OF PAVEMENT (EP)
- FENCE
- NG NATURAL GROUND
- ℓ FLOWLINE
- TC TOP OF CONCRETE
- FC FACE OF CURB
- EV ELECTRIC VAULT
- CF CALCULATED FROM



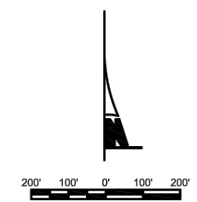
POINT CLOUD VIEWER - LINK



TOPOGRAPHY SURVEY
 00009—SHAFTER LMR
 PYRAMID / MOTOROLA
 KERN COUNTY, CA
 SHEET 2 OF 2

SURVEYOR'S NOTES:

1. THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.
2. FIELD WORK FOR THIS PROJECT WAS PERFORMED ON 07/25/2025
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BENCHMARK
 CONTROL POINT: 10
 DESCRIPTION: REBAR WITH PLASTIC CAP IN SOUTH SIDE OF FANUCCHI WAY 3450' EAST OF TOWER SITE
 NORTHING: 2349668.24
 EASTING: 6204984.68
 ELEVATION: 342.25

BASIS OF BEARINGS
 NORTH AMERICAN DATUM OF 1983 (NAD83) CALIFORNIA COORDINATE SYSTEM (CCS), ZONE 5 WAS USED AS THE BASIS OF BEARINGS AS SHOWN HEREON.

BASIS OF ELEVATIONS
 THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) WAS USED AS THE BASIS OF ELEVATION AS SHOWN HEREON.

POINT OF ORIGIN:
 DESIGNATION: BUTTONWILLCS2005 CORS ARP
 CORS ID: P563
 PID: DN17566
 EPOCH: 2010.00
 N: 2341686.41
 E: 6138227.67
 EL: 300.71

SURVEYOR'S STATEMENT:
 THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT.
 Bryan D. Boydstun, PLS
 August 12, 2025
 DATE



**PRELIMINARY
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 CONSTRUCTION**

ENGINEER'S SEAL

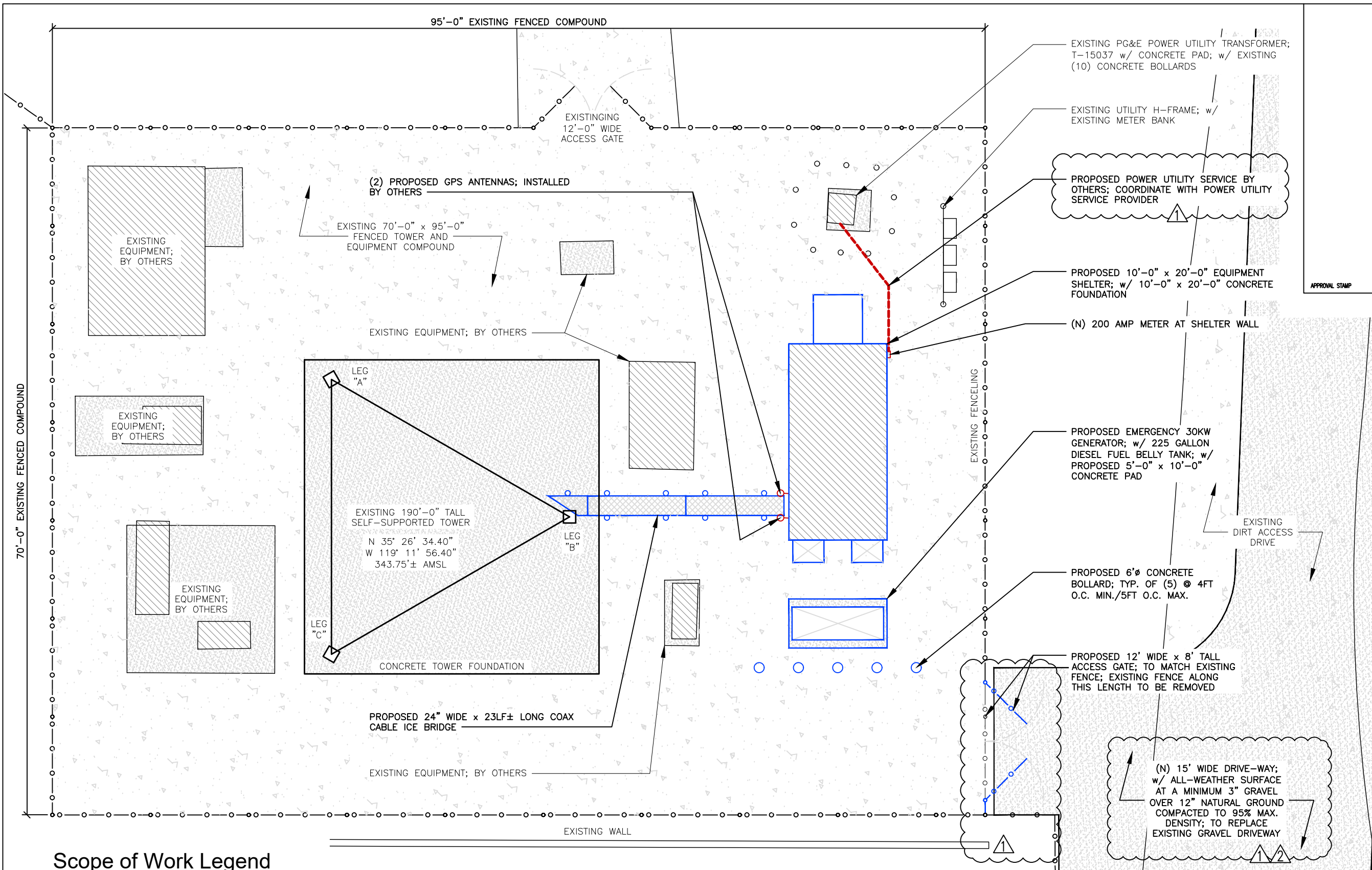
Δ	04/23/26	REVISED PER COMMENTS	TNW	ESK	
Δ	04/15/26	REVISED PER COMMENTS	TNW	ESK	
H	11/25/25	ZONING DRAWINGS	TNW	ESK	
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F	11/14/25	ZONING DRAWINGS	TNW	ESK	
#	DATE	REVISIONS	BY	CHK	APP'D



SITE SURVEY
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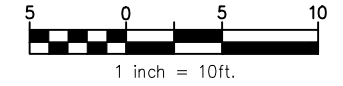
APPROVAL STAMP

Scope of Work Legend

- NEW ITEM
- ITEM TO BE REMOVED/RELOCATED
- EXISTING

Enlarged Site Plan

SCALE: 1" = 10'



PRELIMINARY
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F	11/14/25	ZONING DRAWINGS	TNW	ESK	

KCI TECHNOLOGIES
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SUITE #200
RALEIGH, NORTH CAROLINA 27609
(919) 783-9214

PYRAMID Network Services, LLC

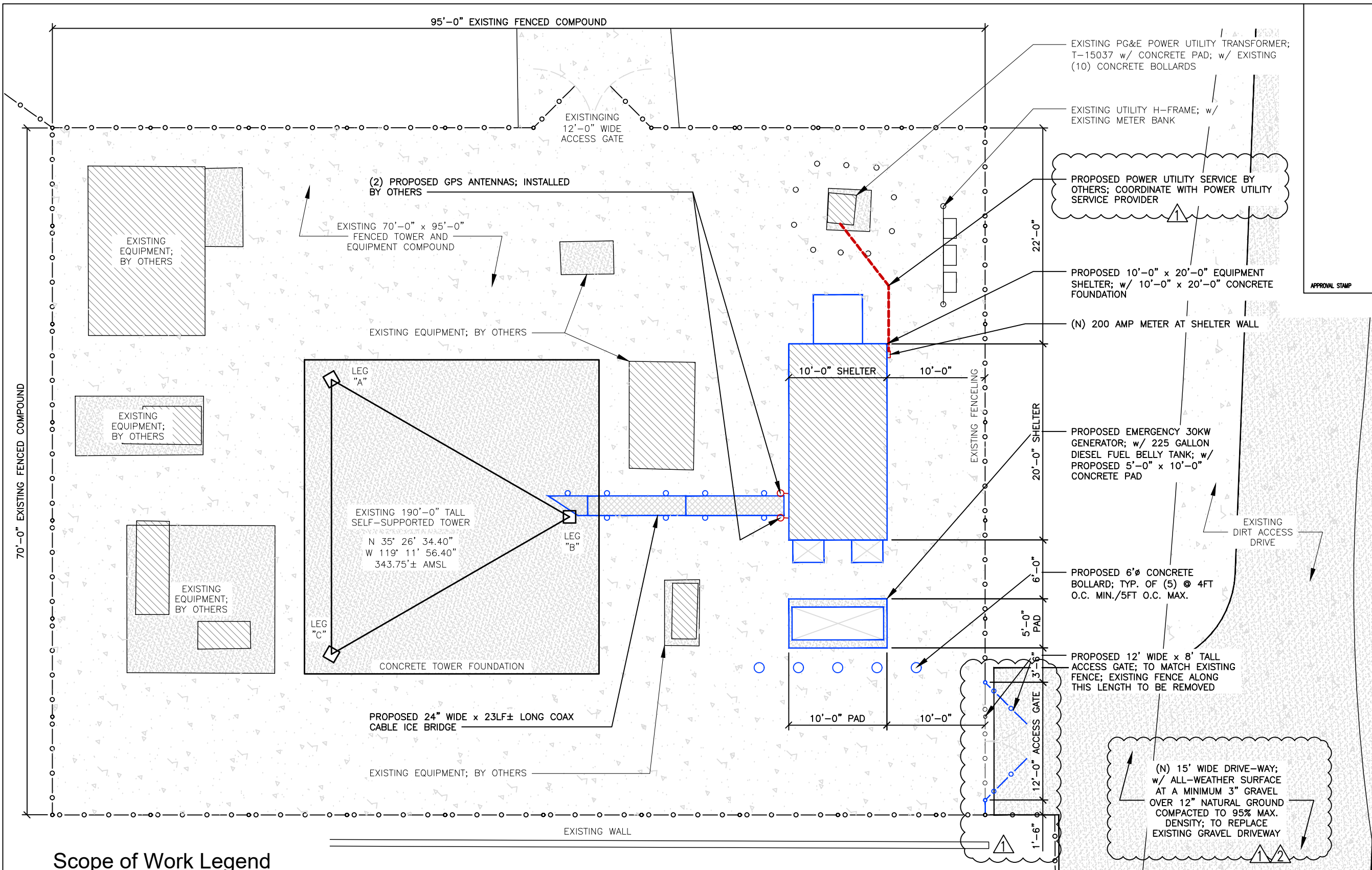
MOTOROLA SOLUTIONS



ENLARGED SITE PLAN
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SHAFTER, CA 93263

C-2

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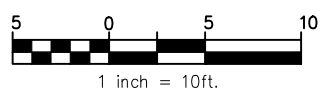
APPROVAL STAMP

Scope of Work Legend

- NEW ITEM
- ITEM TO BE REMOVED/RELOCATED
- EXISTING

Dimensioned Site Plan

SCALE: 1" = 10'



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CONSTRUCTION**

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KCI TECHNOLOGIES
4800 FALLS OF NEUSE ROAD
SUITE #200
RALEIGH, NORTH CAROLINA 27609
(919) 783-9214

PYRAMID Network Services, LLC

MOTOROLA SOLUTIONS



DIMENSIONED SITE PLAN
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SHAFTER, CA 93263

C-2.1

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SITE REGISTRATION SIGN:
 RICHARD TELL & ASSOC.; PART: MPN/SKU 8X12FTRK
 CONTRACTOR SHALL VERIFY ASR NUMBER PRIOR TO ORDERING SIGN.



1 Tower ASR Registration Sign

FOR EMERGENCY NOTIFICATION OR
 FOR ACCESS CALL _____
 (OPERATING ENTITY):
 (xxx) xxx-xxxx
 OR
 (xxx) xxx-xxxx

SITE NAME:
 SAMPLE SITE NAME
 SITE ADDRESS:
 XXXX SAMPLE STREET
 CITY NAME, CA XXXXX

CONTRACTOR SHALL VERIFY NOTIFICATION,
 CALL NUMBERS AND OTHER INFORMATION
 PRIOR TO ORDERING SIGN.

SITE CONTACT INFORMATION SIGN:

SMALL TEXT SHALL HAVE A MINIMUM TEXT
 HEIGHT OF 1.75"

LARGE TEXT SHALL HAVE A MINIMUM TEXT
 HEIGHT OF 2.5"

APPROVAL STAMP

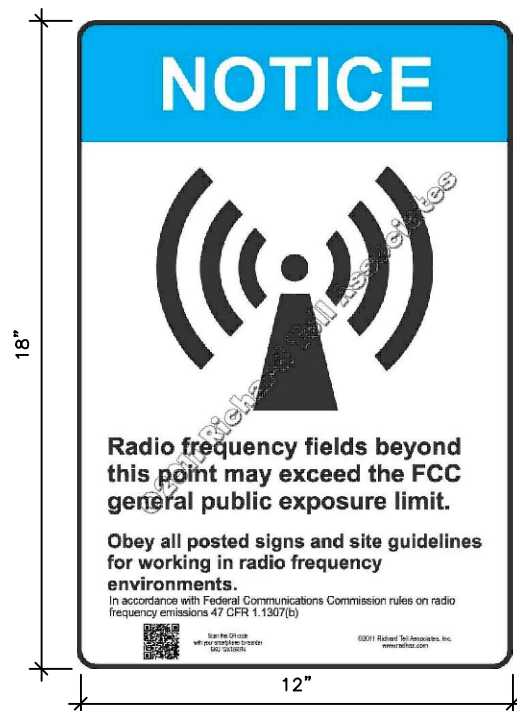
SITE SIGNAGE NOTES:

THE INTENT OF THE SITE SIGNAGE IS TO MEET THE REGULATORY AND MOTOROLA R-56 REQUIREMENTS FOR SITE SIGNAGE PER R-56 SECTION 3.15.1.

AT A MINIMUM, ALL SITES WHICH ARE NOT CONTINUOUSLY SUPERVISED SHALL HAVE THE FOLLOWING POSTED SIGNAGE:

- AUTHORIZED PERSONNEL ONLY. NO TRESPASSING.
- RESPONSIBLE ENTITY IDENTIFICATIONS.
- SITE OPERATING ENTITY WITH APPROPRIATE CONTACT INFORMATION.
- PERMIT OR LICENSE INFORMATION (AS ASSIGNED BY THE FEDERAL COMMUNICATIONS COMMISSION OR OTHER EQUIVALENT)
- RF EXPOSURE WARNING

ALL SITE SIGNAGE SHALL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR. QUESTIONS FROM THE GENERAL CONTRACTOR CONCERNING SITE SIGNAGE SHALL BE DIRECTED TO CONSTRUCTION MANAGER PRIOR TO ORDERING.



RF WARNING SIGN:
 RICHARD TELL & ASSOC.; PART:
 MPN/SKU 12X18RFN

3 RF Hazard Sign



4 No Trespassing Sign



5 No Smoking Sign

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 NOT FOR
 CONSTRUCTION

ENGINEER'S SEAL

04/23/26	REVISED PER COMMENTS	TNW	ESK
04/15/26	REVISED PER COMMENTS	TNW	ESK
H 11/25/25	ZONING DRAWINGS	TNW	ESK
G 11/19/25	ZONING DRAWINGS	TNW	ESK
F 11/14/25	ZONING DRAWINGS	TNW	ESK
#	DATE	REVISIONS	BY CHK APP'D



SITE SIGNAGE DETAILS

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C-2.2

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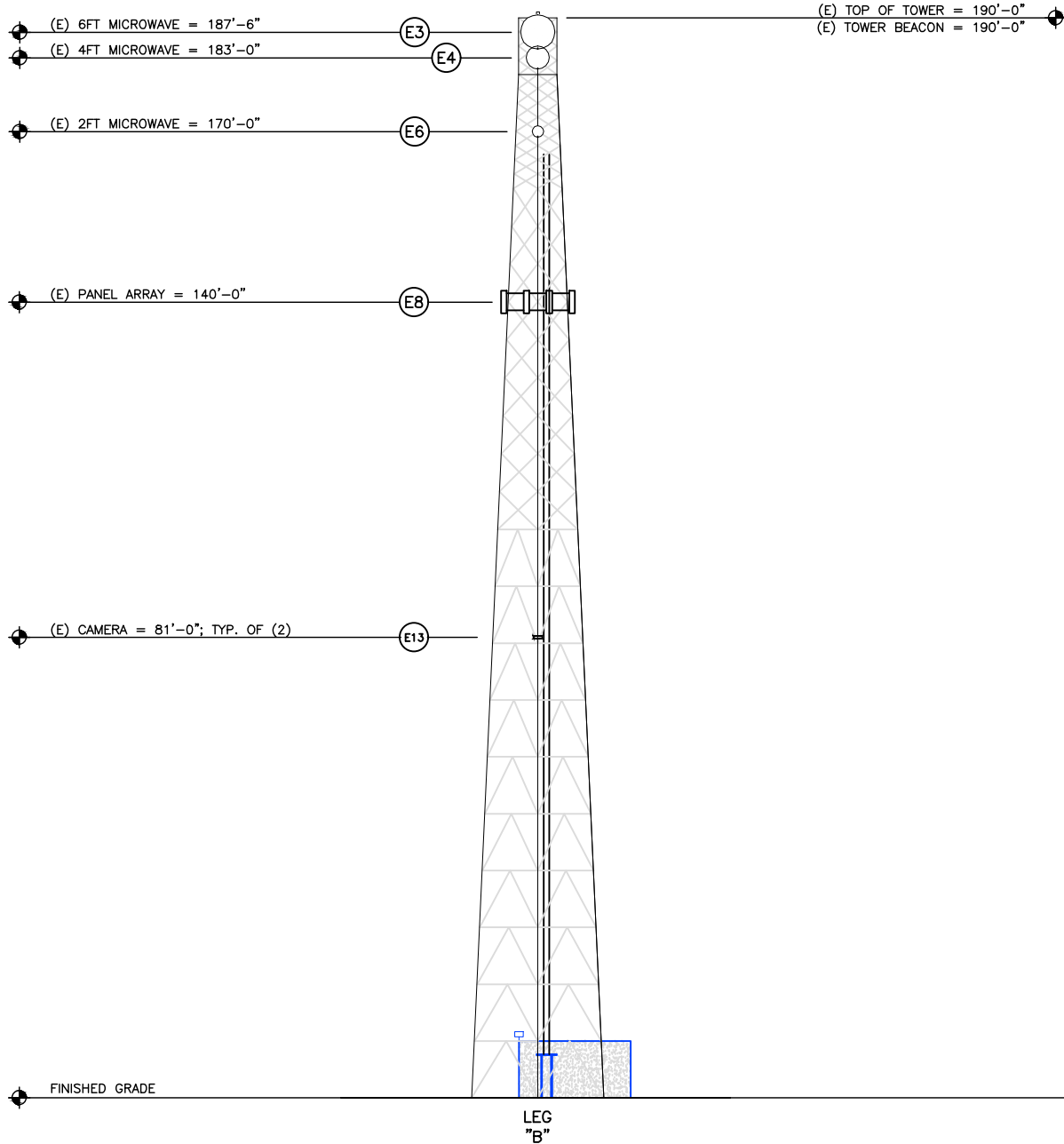
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TOWER ELEVATION NOTE:

1. NEW FEEDLINES TO BE ROUTED ON NEW COAX CABLES LADDER; LEG "B".
2. (N) 24" WIDE COAX CABLE LADDER TO BE ADDED TO (E) TOWER; FROM 10FT TO 166FT; FIELD VERIFY.
3. NEW BUS BARS ARE SHOWN FOR REFERENCE ONLY; CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION OF EACH.

Scope of Work Legend

- NEW ITEM
- ITEM TO BE REMOVED/RELOCATED
- EXISTING



Existing Primary Elevation Leg "B"

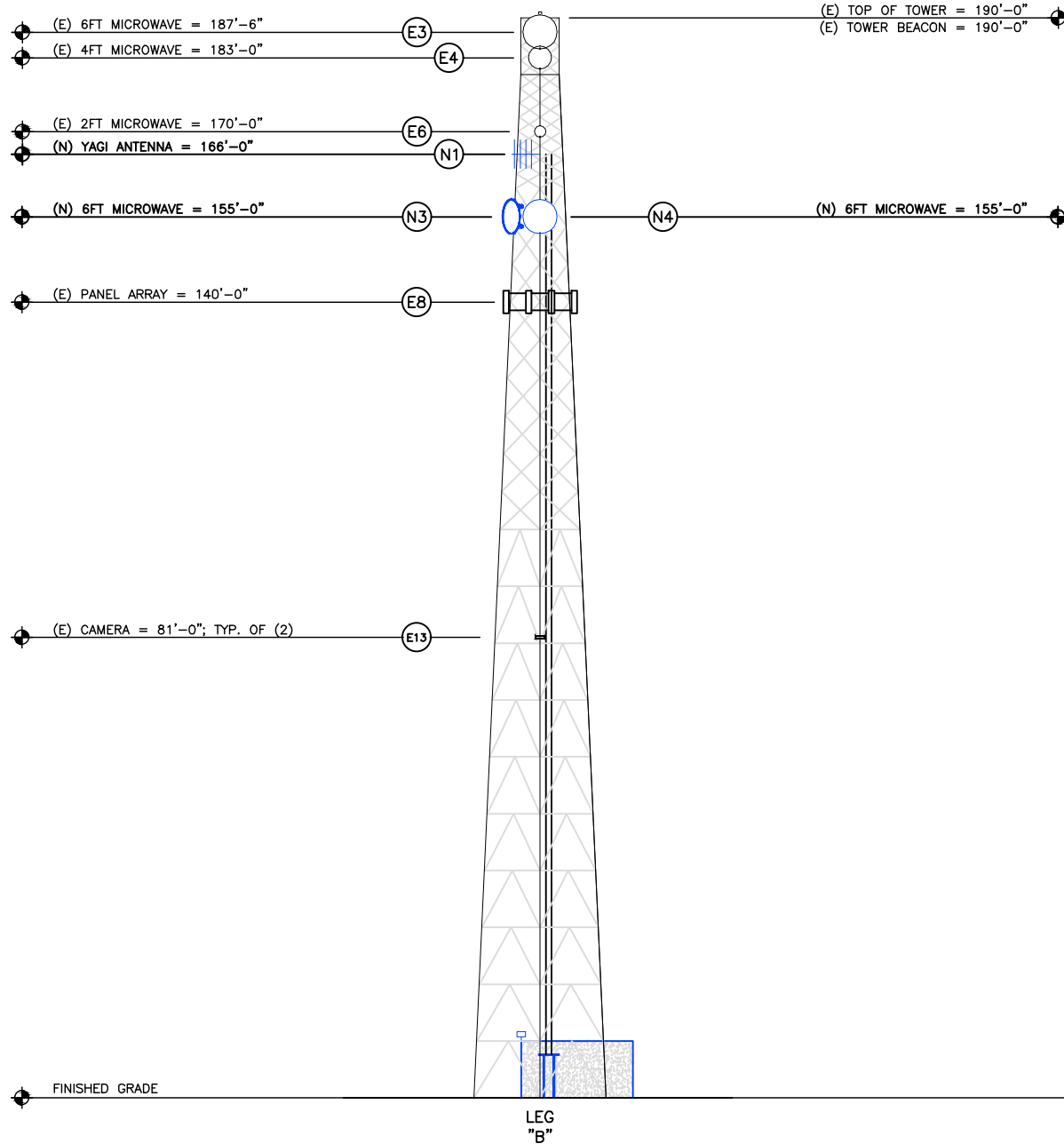
1 SCALE: 1" = 30'

TOWER ELEVATION NOTE:

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3. NEW BUS BARS ARE SHOWN FOR REFERENCE ONLY; CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION OF EACH.

Scope of Work Legend

- NEW ITEM
- ITEM TO BE REMOVED/RELOCATED
- EXISTING



Proposed Primary Elevation Leg "B"

2 SCALE: 1" = 30'

APPROVAL STAMP

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CONSTRUCTION**

ENGINEER'S SEAL

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#	DATE	REVISIONS	BY CHK APP'D

KCI TECHNOLOGIES
4800 FALLS OF NEUSE ROAD
SUITE #200
RALEIGH, NORTH CAROLINA 27609
(919) 783-9214

PYRAMID Network Services, LLC

MOTOROLA SOLUTIONS



TOWER ELEVATIONS

SHL - SHAFTER LMR
4451 FANUCCHI WAY
SHAFTER, CA 93263

C-3

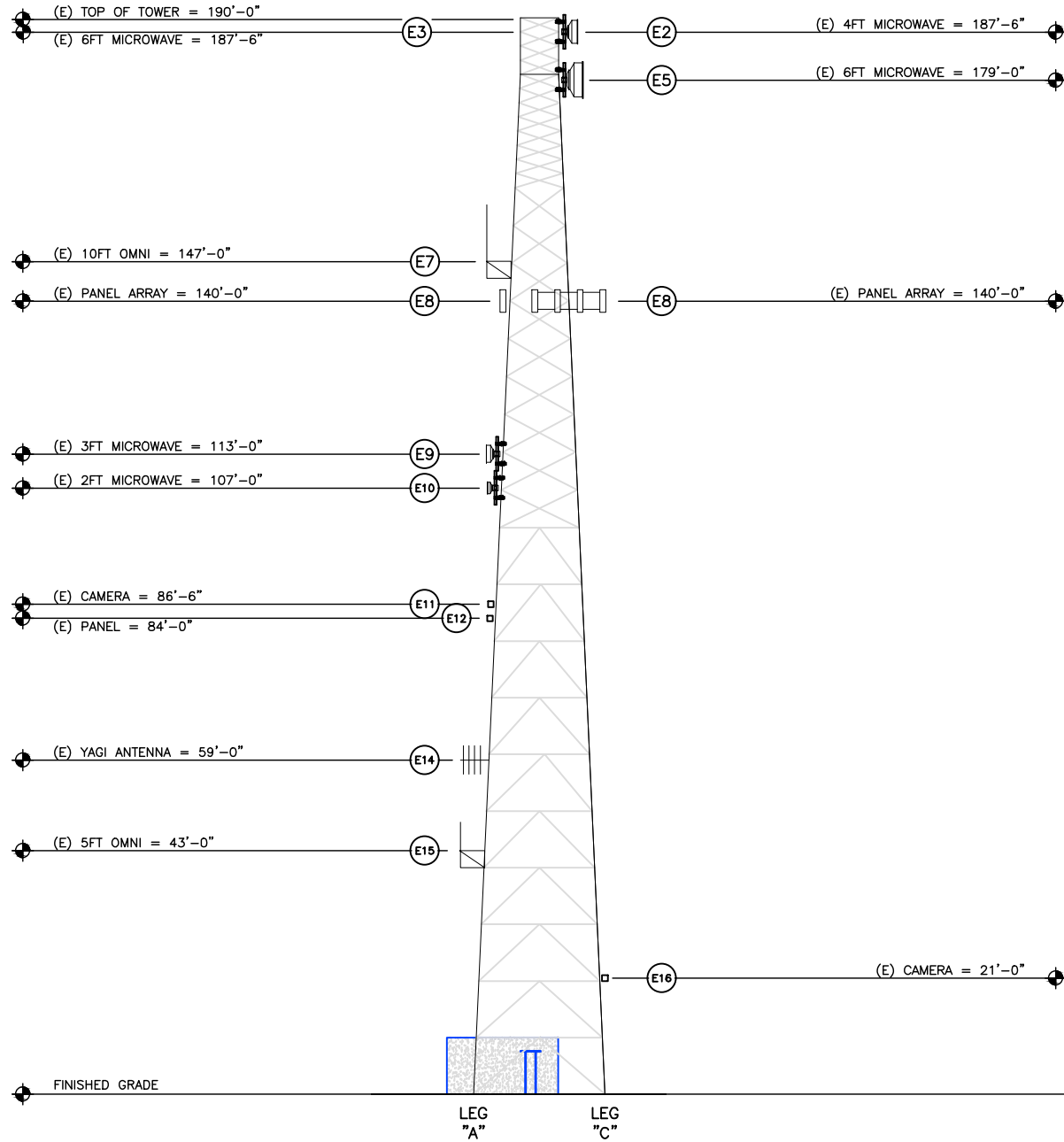
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Scope of Work Legend

- NEW ITEM
- ITEM TO BE REMOVED/RELOCATED
- EXISTING



Existing Secondary Elevation Face "A-C"

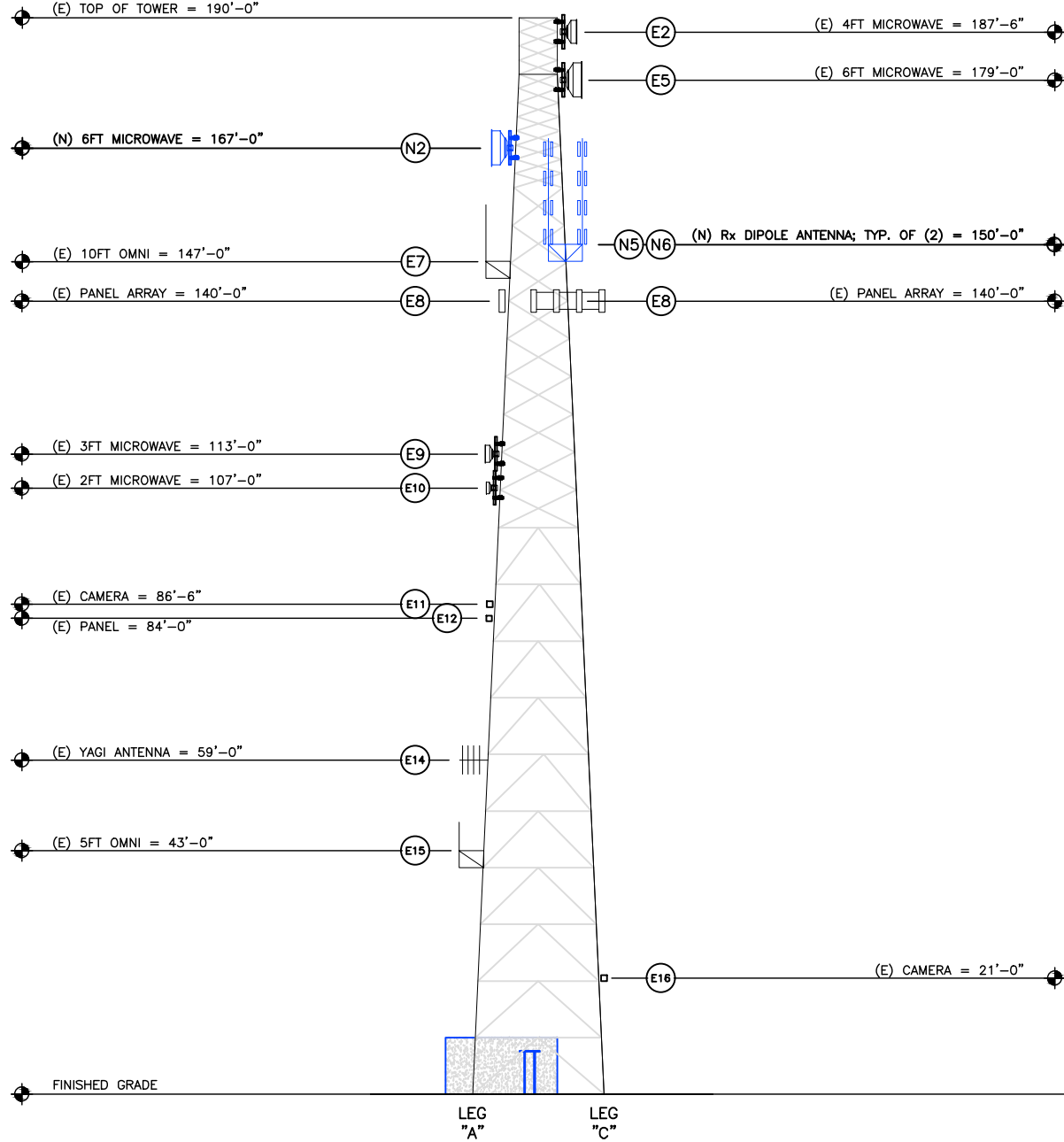
1 SCALE: 1" = 30'

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Scope of Work Legend

- NEW ITEM
- ITEM TO BE REMOVED/RELOCATED
- EXISTING



Proposed Secondary Elevation Face "A-C"

2 SCALE: 1" = 30'

APPROVAL STAMP

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4800 FALLS OF NEUSE ROAD
SUITE #200
RALEIGH, NORTH CAROLINA 27609
(919) 783-9214

PYRAMID Network Services, LLC

MOTOROLA SOLUTIONS



TOWER ELEVATIONS

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SHAFTER, CA 93263

C-3.1

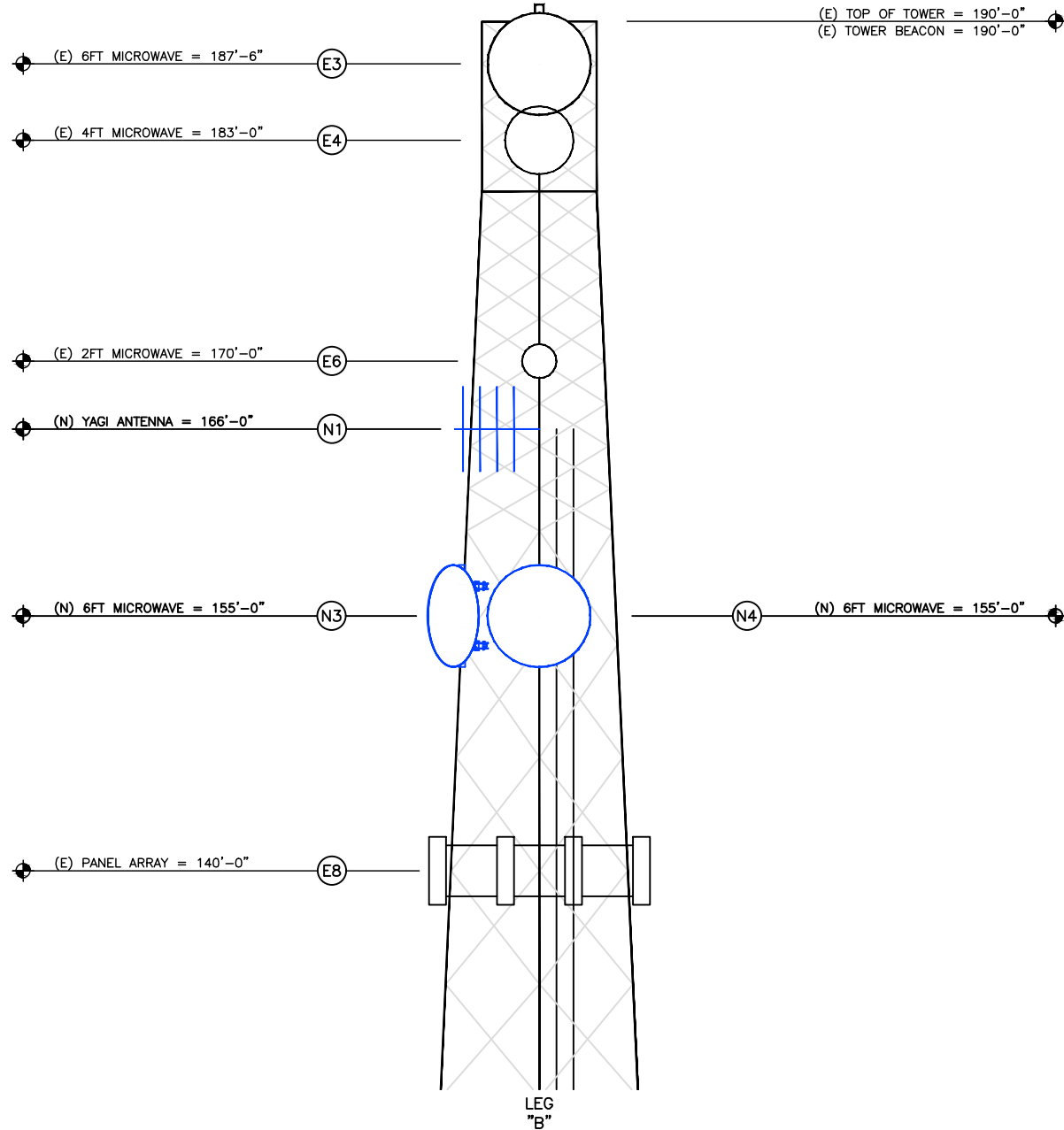
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Scope of Work Legend

- NEW ITEM
- ITEM TO BE REMOVED/RELOCATED
- EXISTING



**Proposed Primary Elevation
Leg "B"**

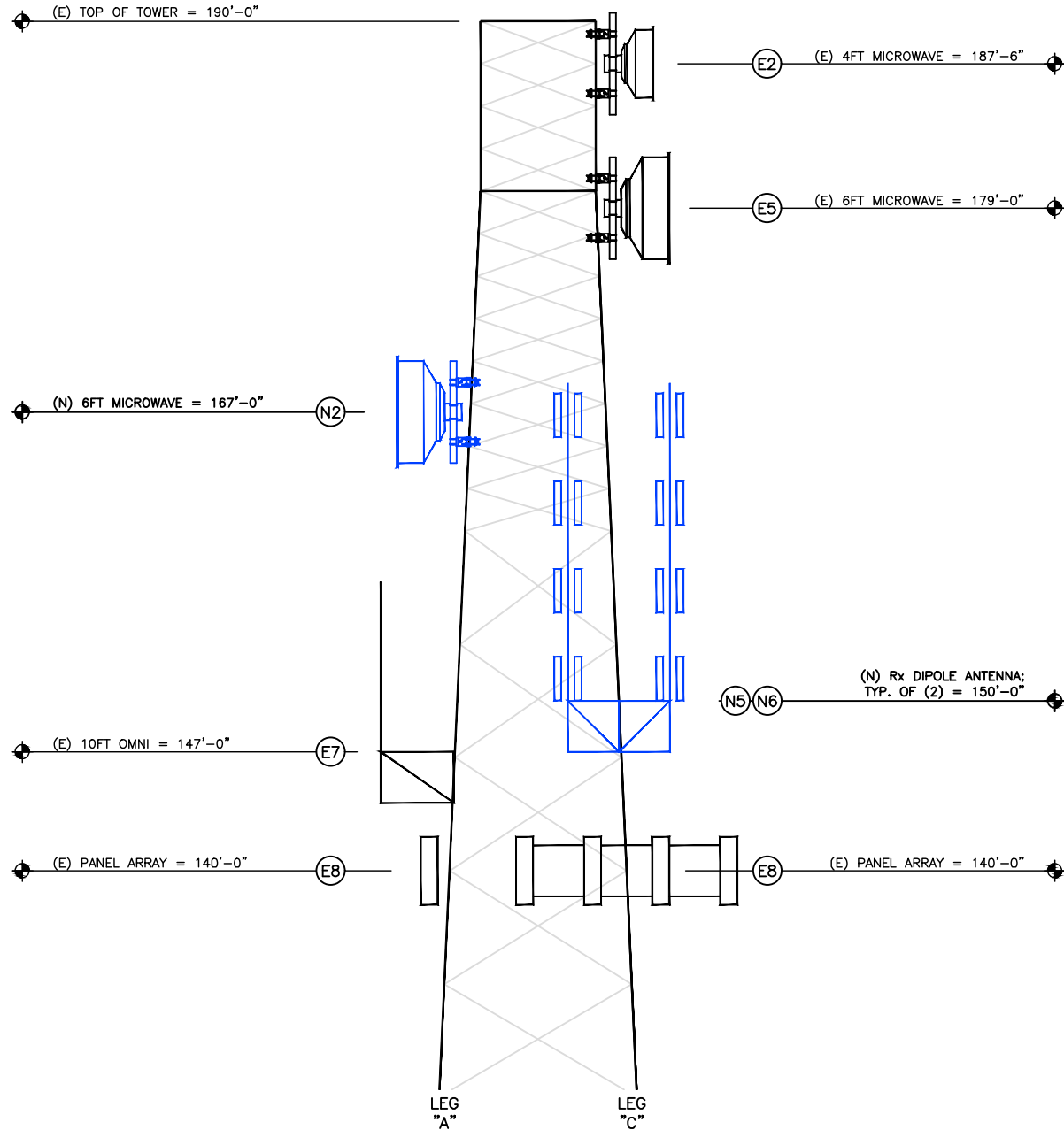
1 SCALE: 1" = 10'

TOWER ELEVATION NOTE:

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Scope of Work Legend

- NEW ITEM
- ITEM TO BE REMOVED/RELOCATED
- EXISTING



**Proposed Secondary Elevation
Face "A-C"**

2 SCALE: 1" = 10'

APPROVAL STAMP

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TOWER ELEVATIONS

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ANTENNA INFORMATION												FEEDLINE INFORMATION				FEEDLINE INFORMATION					
ANTENNA ID	MANUFACTURER	MODEL	TYPE	LENGTH	BOTTOM ELEV.	RAD CENTER	TOP ELEV.	MOUNT	LEG	AZIMUTH	QTY.	TYPE	MANUFACTURER	MODEL	SIZE	QTY.	BAND 1	BAND 2	BAND 3	BAND 4	
E1	[UNKNOWN]	[UNKNOWN]	BEACON	0.00'	190.00'	190.00'	190.00'	N/A	B	N/A	1	COAX	[UNKNOWN]	[UNK]	1/2"	1					
E2	RADIOWAVES	HPD4-18R8	MICROWAVE	4.00'	185.50'	187.50'	189.50'	PIPE	C	150	1	COAX	[UNKNOWN]	[UNK]	1/2"	1					
E3	[UNKNOWN]	[UNKNOWN]	MICROWAVE	6.00'	184.50'	187.50'	190.50'	PIPE	B	150	1	COAX	[UNKNOWN]	[UNK]	1/2"	1					
E4	RADIOWAVES	HPD4-18R8	MICROWAVE	4.00'	181.00'	183.00'	185.00'	PIPE	B	90	1	COAX	[UNKNOWN]	[UNK]	1/2"	1					
E5	[UNKNOWN]	[UNKNOWN]	MICROWAVE	6.00'	176.00'	179.00'	182.00'	PIPE	C	170	1	COAX	[UNKNOWN]	[UNK]	7/8"	1					
E6	RADIOWAVES	HP2-5.2NS	MICROWAVE	2.00'	169.00'	170.00'	171.00'	PIPE	B	100	1	COAX	[UNKNOWN]	[UNK]	3/8"	1					
N1	COMPROD	295-70	YAGI	3.60'	164.20'	166.00'	167.80'	INCLUDED	B	135°	1	COAX	COMMSCOPE	AVA5-50	7/8"	1					
N2	COMMSCOPE	VHLP6-6W	MW	6.00'	164.00'	167.00'	170.00'	SU4-63	A	326°	1	ELLIPTICAL	RFS FLEXWELL	E65	2"	1	GREEN	BLUE			
N3	COMMSCOPE	VHLP6-11W	MW	6.00'	152.00'	155.00'	157.00'	SU4-63	B/C	148°	1	ELLIPTICAL	RFS FLEXWELL	E105	2"	1	GREEN				
N4	COMMSCOPE	VHLP6-11W	MW	6.00'	152.00'	155.00'	157.00'	SU4-63	B	99°	1	ELLIPTICAL	RFS FLEXWELL	E105	2"	1	GREEN	RED			
N5	RFI	BA160-67-DIN-T3	Rx	18.70'	150.00'	159.35'	168.70'	HS6-K	C	0°	1	COAX	COMMSCOPE	AVA5-50	7/8"	1	BLUE	BLUE			
N6	RFI	BA160-67-DIN-T3	Rx	18.70'	150.00'	159.35'	168.70'	HS6-K	C	0°	1	COAX	COMMSCOPE	AVA5-50	7/8"	1	BLUE	BLUE	RED		
E7	[UNKNOWN]	[UNKNOWN]	OMNI	10.00'	147.00'	152.00'	157.00'	LEG	A	N/A	1	COAX	[UNKNOWN]	[UNK]	3/8"	1					
E8	ERICSSON	AIR 6449 B77D	PANEL	[UNK]	[UNK]	140.00'	[UNK]	SECTOR	A/B/C	320/80/200	3	COAX	[UNKNOWN]	[UNK]	2"	1					
	ERICSSON	LNX-65 I 5DS-AIM	PANEL	[UNK]	[UNK]	140.00'	[UNK]	SECTOR	A/B/C	320/80/200	9	COAX	[UNKNOWN]	[UNK]	1-1/2"	1					
E9	RADIOWAVES	SP3-5.2NS	MICROWAVE	3.00'	111.50'	113.00'	114.50'	PIPE	A	325	1	COAX	[UNKNOWN]	[UNK]	1/4", 3/16"	2					
E10	[UNKNOWN]	[UNKNOWN]	MICROWAVE	2.00'	105.00'	107.00'	109.00'	PIPE	A	300	1	COAX	[UNKNOWN]	[UNK]	5/16"	1					
E11	[UNKNOWN]	[UNKNOWN]	CAMERA	1.00'	86.00'	86.50'	87.00'	PIPE	A	N/A	1	COAX	[UNKNOWN]	[UNK]	1/4"	1					
E12	PCTEL	MSP24013120	PANEL	[UNK]	[UNK]	84.00'	[UNK]	PIPE	A	330	1	COAX	[UNKNOWN]	[UNK]	5/16"	1					
E13	[UNKNOWN]	[UNKNOWN]	CAMERA	1.00'	80.50'	81.00'	81.50'	LEG	B	N/A	2	COAX	[UNKNOWN]	[UNK]	1/4"	2					
E14	[UNKNOWN]	[UNKNOWN]	YAGI	[UNK]	[UNK]	59.00'	[UNK]	PIPE	A	355	1	COAX	[UNKNOWN]	[UNK]	7/8"	1					
E15	[UNKNOWN]	[UNKNOWN]	OMNI	[UNK]	43.00'	45.50'	48.00'	PIPE	A	N/A	1	COAX	[UNKNOWN]	[UNK]	3/16"	1					
E16	[UNKNOWN]	[UNKNOWN]	CAMERA	1.00'	20.50'	21.00'	21.50'	LEG	C	N/A	1	COAX	[UNKNOWN]	[UNK]	3/8"	1					
N7	MOTOROLA	PMUG1017	GPS	INSTALLED BY OTHERS ON SHELTER EXTERIOR WALL							1	COAX	COMMSCOPE	LDF4-50	1/2"	1	WHITE				
N8	MOTOROLA	PMUG1017	GPS	INSTALLED BY OTHERS ON SHELTER EXTERIOR WALL							1	COAX	COMMSCOPE	LDF4-50	1/2"	1	WHITE	WHITE			

E = EXISTING
N = NEW
F = FUTURE

APPROVAL STAMP

GENERAL NOTES:

1. ALL VERTICAL TRANSMISSION LINE RUNS FROM THE ANTENNAS SHALL BE GROUNDED NEAR THE TOP AND BOTTOM OF THE TOWER (BEFORE THE CABLE MAKES HORIZONTAL TRANSITION) AND NEAR ENTRY PORT ON THE SHELTER. ADDITIONAL TRANSMISSION LINE GROUND KITS SHALL BE INSTALLED AS NEEDED TO LIMIT THE DISTANCE BETWEEN GROUND KITS TO 75 FEET.
2. THE CONTRACTOR SHALL CONDUCT A SWEEP TEST ON ALL THE NEWLY INSTALLED TRANSMISSION LINES USING THE MOTOROLA SWEEP PROCESS. RESULTS TO BE SUBMITTED TO MOTOROLA.
3. DRIP LOOPS SHALL BE INCORPORATED IN CABLE RUNS TO PREVENT WATER FROM TRICKLING DOWN THE LINES INTO THE SHELTER.
4. ALL TRANSMISSION LINES SHALL BE MARKED WITH APPROPRIATE COLOR TAPE BANDS (ONE INCH WIDE COLOR TAPE) FOR IDENTIFICATION NEAR THE ANTENNA, JUST BEFORE ENTERING THE SHELTER, AS WELL AS INSIDE THE SHELTER BEFORE CONNECTING TO THE SURGE SUPPRESSORS. SEE EQUIPMENT AND COAXIAL CABLE SCHEDULE FOR COLOR CODING SCHEME.
5. COLOR TAPE BANDS ARE ONLY TEMPORARY. PERMANENT MARKING SHALL BE INSTALLED PER R-56 4"-6" FROM THE FOLLOWING LOCATIONS: NEAR THE ANTENNA, AT THE BOTTOM OF THE TOWER, JUST BEFORE ENTERING THE SHELTER AS WELL AS INSIDE THE SHELTER, AND BEFORE CONNECTING TO THE SURGE SUPPRESSORS.

Scope of Work Legend

- NEW ITEM
- ITEM TO BE REMOVED/RELOCATED
- EXISTING

PRELIMINARY
NOT FOR
CONSTRUCTION

ENGINEER'S SEAL

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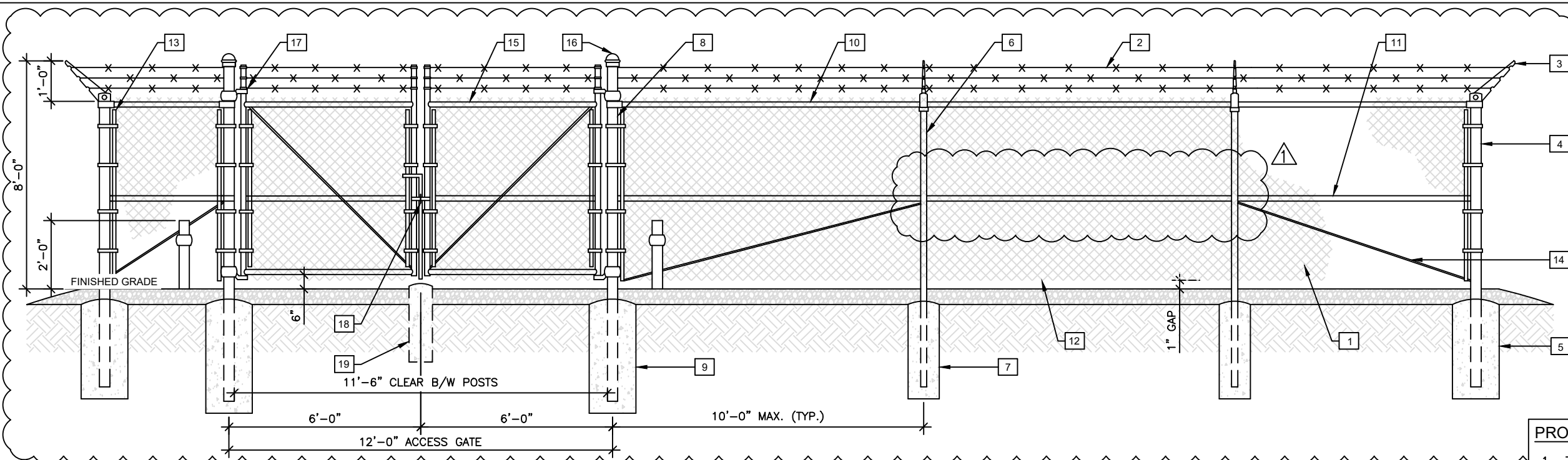
ANTENNA LOADING INFORMATION

SHL - SHAFTER LMR
4451 FANUCCHI WAY
SHAFTER, CA 93263

C-3.3

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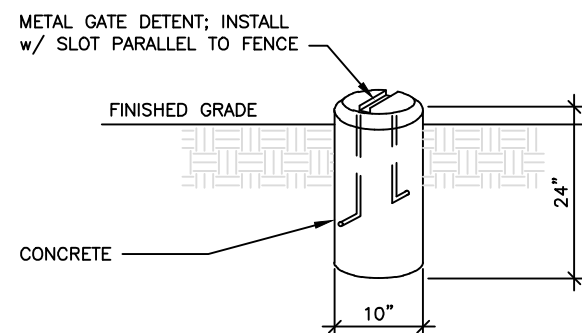
APPROVAL STAMP

Keynote Legend

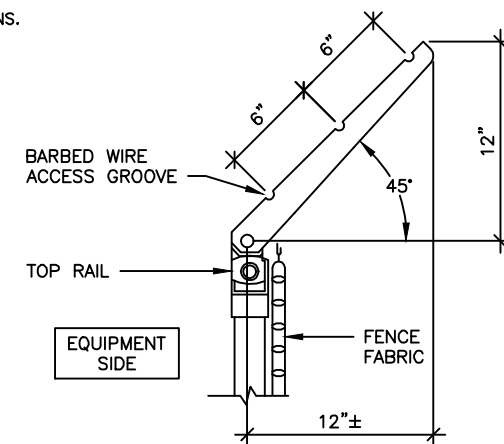
- 1 FABRIC: 9 GAUGE, 2" MESH, ASTM A392 (SEE FENCE SECTION FOR HEIGHT).
- 2 BARBED WIRE: 12 GAUGE WIRE, 4 POINT (3 RUNS), FINISH TO MATCH FABRIC, ASTM A121.
- 3 EXTENSION ARMS: STAMPED METAL WITH MALLEABLE IRON BASE, FINISH TO MATCH FENCE AND FRAMEWORK, ASTM F626.
- 4 END AND CORNER POSTS: 3" SCH40 GALVANIZED STEEL PIPE, ASTM F1083.
- 5 CONCRETE FOUNDATION: 12" x 36" DEEP (3000 PSI).
- 6 LINE POSTS: 2" SCH40 GALVANIZED STEEL PIPE, ASTM F1083.
- 7 CONCRETE FOUNDATION: 10" x 36" DEEP (3000 PSI).
- 8 GATE POSTS: 4" SCH40 GALVANIZED STEEL PIPE, ASTM F1083.
- 9 CONCRETE FOUNDATION: 12" x 48" DEEP (3000 PSI).
- 10 TOP RAIL AND BRACE RAIL: 1-1/2" SCH40 GALVANIZED STEEL PIPE, ASTM F1083.
- 11 MIDDLE RAILS: 1-1/2" SCH40 GALVANIZED STEEL PIPE, ASTM F1083.
- 12 BOTTOM TENSION WIRE: 0.177" METALLIC-COATED GALVANIZED STEEL, MARCELLED, ASTM A824.
- 13 TENSION BARS: 3/16" x 3/4", FULL HEIGHT OF FABRIC, FINISH TO MATCH FENCE FRAMEWORK.
- 14 TENSION RODS: 3/8" WITH ADJUSTABLE TIGHTENER, FINISH TO MATCH FENCE FRAMEWORK.
- 15 GATE FRAME: 2" SCH40 GALVANIZED STEEL PIPE, ASTM F1083.
- 16 POST CAPS: PER POST DIAMETER.
- 17 GATE HINGES: NON-LIFT-OFF TYPE, OFFSET TO PERMIT 180 DEGREE SWING.
- 18 DOUBLE GATE LATCH: COMMERCIAL STRONG ARM.
- 19 MUSHROOM STOP SHALL BE A METALLIC SLOTTED DROP RECEIVER PLACED IN THE TOP OF A 10" MIN. DIAMETER PIPE FILLED WITH CONCRETE AND PLACED 24" MIN. INTO THE SOIL.

NOTES:

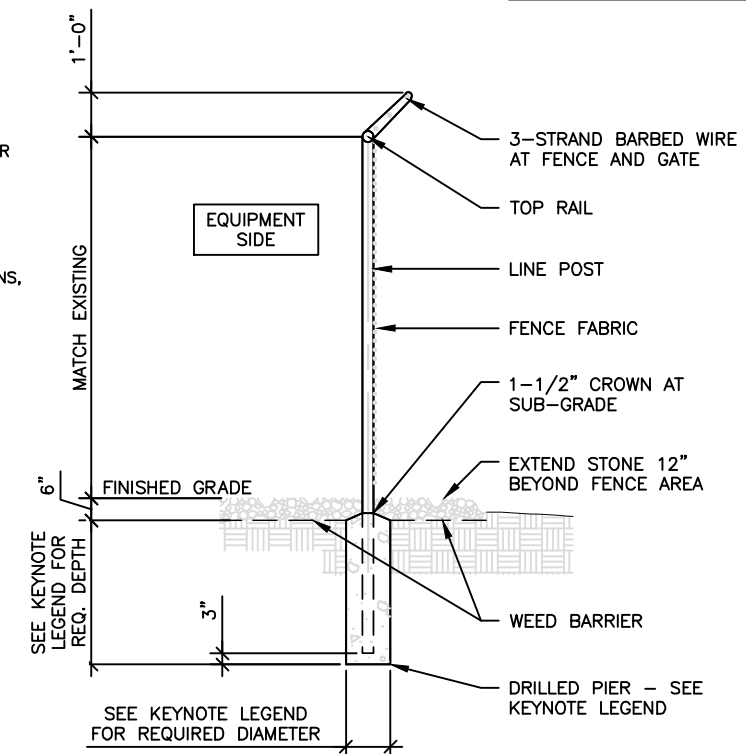
- 1. REFER TO PROJECT SPECIFICATIONS FOR INFORMATION NOT SHOWN IN THE DRAWING.
- 2. FENCE FABRIC SHALL CONFORM TO CHAIN LINK FENCE MANUFACTURERS INSTITUTE (CLFMI) PRODUCT MANUAL.
- 3. INSTALL FENCE IN COMPLIANCE WITH ASTM F 567.
- 4. INSTALL SWING GATES IN COMPLIANCE WITH ASTM F 900.
- 5. DO NOT BEGIN INSTALLATION AND ERECTION BEFORE FINAL GRADING IS COMPLETED, UNLESS OTHERWISE PERMITTED. INSTALL FENCING ON BOUNDARY LINES INSIDE OF PROPERTY LINES ESTABLISHED BY SURVEY.
- 6. DRILL OR HAND-EXCAVATE (USING POST-HOLE DIGGER) HOLES FOR POSTS TO DIAMETERS AND SPACINGS INDICATED, IN FIRM, UNDISTURBED OR COMPACTED SOIL. IF NOT INDICATED ON DRAWINGS, EXCAVATE HOLES FOR EACH POST TO MINIMUM DIAMETER RECOMMENDED BY FENCE MANUFACTURER, BUT NOT LESS THAN FOUR (4) TIMES LARGEST GROSS-SECTION OF POST.
- 7. REMOVE POST HOLE SPOILS FROM SITE. DO NOT SET SPOILS ON AGGREGATE WITHOUT ADEQUATE PROTECTION.
- 8. PROTECT PORTION OF POSTS ABOVE GROUND FROM CONCRETE SPLATTER. PLACE CONCRETE AROUND POSTS AND VIBRATE OR TAMP FOR CONSOLIDATION. CHECK EACH POST FOR VERTICAL AND TOP ALIGNMENT AND HOLD IN POSITION DURING PLACEMENT AND FINISHING OPERATIONS, UNLESS OTHERWISE SHOWN. EXTEND CONCRETE FOOTING ONE (1) INCH ABOVE GRADE AND TROWEL TO A CROWN TO SHED WATER.
- 9. INSTALL BARBED WIRE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- 10. APPLY FABRIC TO OUTSIDE OF FRAMEWORK.



2 **Mushroom Stop**
NOT TO SCALE



3 **Barbed Wire Detail**
NOT TO SCALE



4 **Typical Fence Section**
NOT TO SCALE

PROPOSED FENCING NOTES:

- 1. THIS SITE WILL ONLY REQUIRE A NEW ACCESS GATE.
- 2. THIS SHEET IS INTENDED TO ACT AS A GUIDE FOR CONTRACTOR IN CONSTRUCTING A NEW ACCESS GATE.
- 3. THE EXISTING FENCING SHALL REMAIN IN PLACE, EXCEPT THAT WHICH IS PROPOSED TO BE REMOVED TO ACCOMMODATE THE NEW ACCESS GATE.
- 4. THE NEW ACCESS GATE SHALL MATCH HEIGHT AND APPEARANCE OF THE EXISTING FENCING.

PRELIMINARY
NOT FOR
CONSTRUCTION

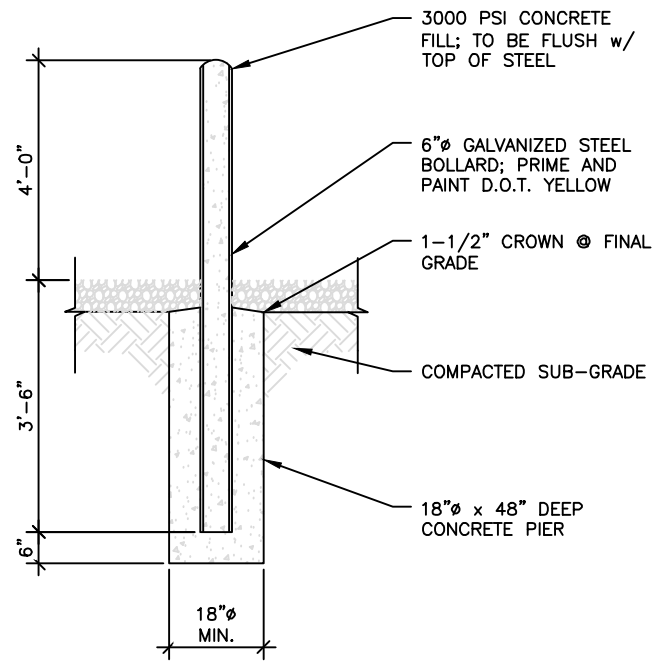
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Δ	04/15/26	REVISED PER COMMENTS	TNW	ESK	
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F	11/14/25	ZONING DRAWINGS	TNW	ESK	



FENCE DETAILS
SHL - SHAFTER LMR
4451 FANUCCHI WAY
SHAFTER, CA 93263

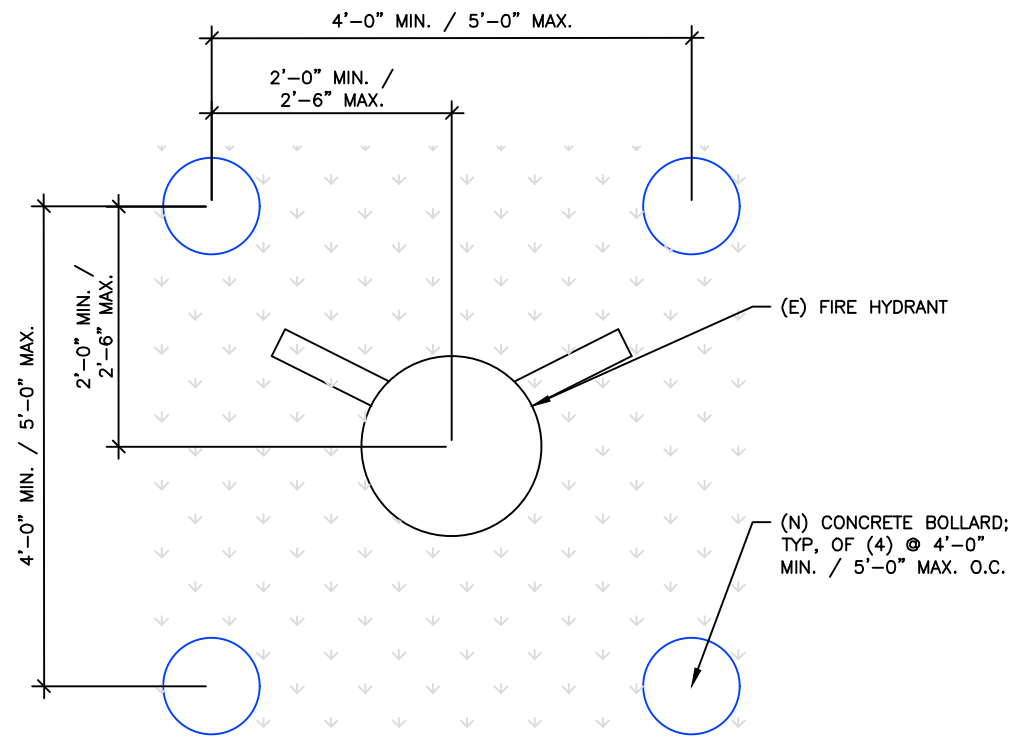
C-4

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1 Typical Bollard Detail

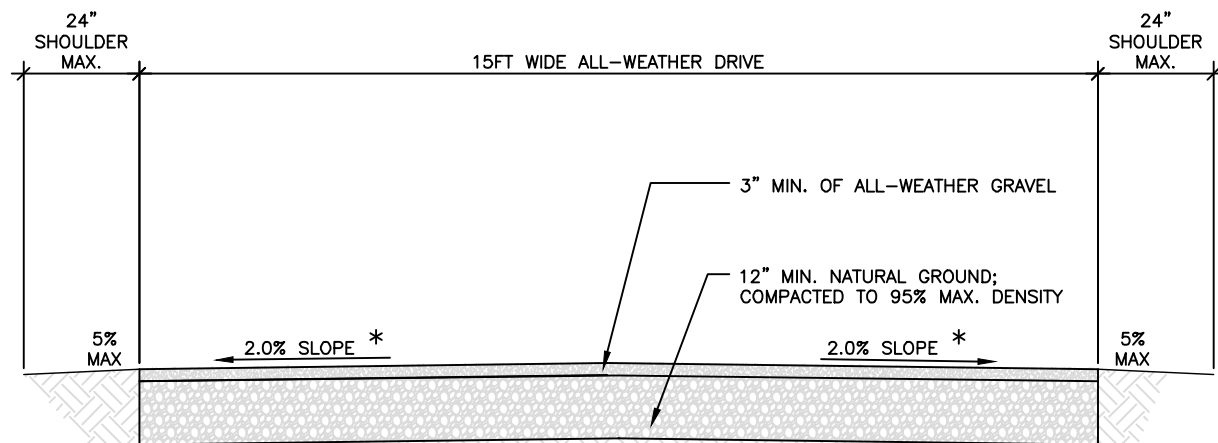
NOT TO SCALE



3 Bollards @ Fire Hydrant Detail

NOT TO SCALE

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* UNLESS OTHERWISE SPECIFIED IN PLANS

2 All-Weather Drive Section

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KCI
TECHNOLOGIES

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SUITE #200
RALEIGH, NORTH CAROLINA 27609
(919) 783-9214

PYRAMID
Network Services, LLC

MOTOROLA
SOLUTIONS



CIVIL DETAILS

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SHAFTER, CA 93263

C-5

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BA Series

UHF Omnidirectional Dipole Arrays

400 - 520 MHz

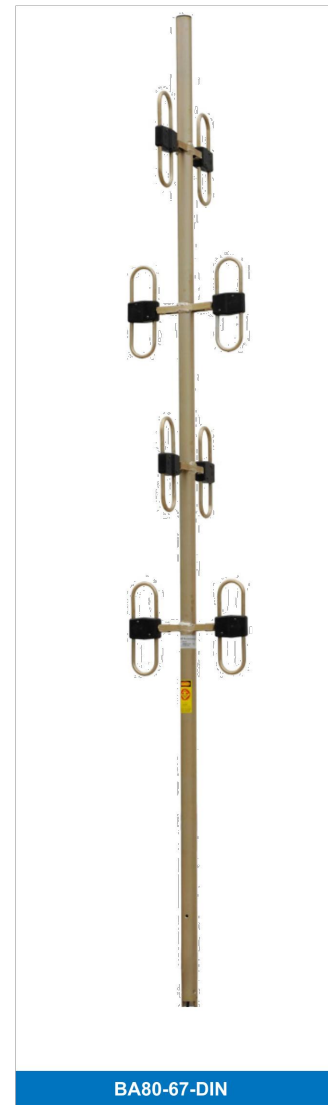


These high performance UHF dipole arrays are ideal for highly populated radio sites requiring long haul omnidirectional coverage. They operate over entire bands and offer gains of 3, 6 or 9dBd (depending on model) exhibiting a VSWR of <1.5:1 across the band.

The arrays utilise an internal phasing harness in PTFE based double screened coaxial cable with polyethylene jacket to aid waterproofing and resist bird attack. The use of a unique phasing arrangement provides extensive side lobe suppression and null fill characteristics. The arrays will accept an input power level of 500 watts continuous, making them ideal for high power multiple transmitter application. The BA80 series are also offered with 3° downtilt, to further enhance close-in coverage characteristics.

These antennas offer industry leading PIM ratings, essential for the latest digital radio systems. All welded alodined aluminum construction and new fabrication techniques in both the harness and dipole sections have proven to minimize intermodulation and noise generated within the antennas. The entire array rests at ground potential and offers the ultimate in lightning resistant antennas.

- Ideal for highly populated sites requiring long haul omnidirectional coverage
- Operate over entire 400-520 MHz band
- 3 dBd, 6 dBd or 9 dBd gain versions available
- Extensive side lobe suppression and null fill
- BA160-67-DIN may be ordered as 2 x 6dBd arrays on one boom assembly. Specify model BA8080-67-DIN. Typical space isolation between arrays is 35dB.
- BA80-67-DIN may be ordered as 2 x 3dBd arrays on one boom assembly. Specify model BA4040-67-DIN. Typical space isolation between arrays is 35dB.
- Industry leading PIM ratings providing low IM and low noise characteristics for optimum performance



BA80-67-DIN



RFI
9329 Ravena Rd.
Suite C
Twinsburg OH 44087 USA
Phone: 330 486 0706
Fax: 330 486 0705

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P-40945-2

1

rfiamericas.com

BA Series

UHF Omnidirectional Dipole Arrays

400 - 520 MHz



Electrical Specifications			
Model Number	BA40-67-DIN	BA80-67-DIN	BA160-67-DIN
Nominal Gain dBd	3	6	9
Frequency MHz	400-520		
Tuned Bandwidth	Entire band		
VSWR (Return Loss)	<1.5 :1 (14dB)		
Nominal Impedance Ω	50		
Downtilt	Not offered		0° Std or -3° See note (2)
Vertical Beamwidth	30°	16°	9°
Horizontal Beamwidth	Omni +/-0.5dB		
Input Power (Watts)	500		
Passive IM 3rd order (2x20W) dBc	-150		-140

Mechanical Specifications			
Model Number	BA40-67-DIN	BA80-67-DIN	BA160-67-DIN
Construction & Configuration	4 dipoles (2 bays) Turnstile stacked Single section support	8 dipoles (4 bays) Turnstile stacked Single section support	16 dipoles (8 bays) Turnstile stacked Dual section support External final harness
Length inches	83	118	197
Weight lbs	11	18	44
Shipping Weight lbs	76	84	124
Shipping Dimensions inches	H	17	17
	W	17	22
	L	87	126
Termination	7/16 DIN female with 20" 9142 cable tail		
Mounting Area	20" x 1.9" diam. aluminum		20" x 2.5" diam. aluminum
Suggested Clamps (not included)	UC12	UC12	UC13
Projected Area ft²	No ice	2.0	3.3
	With ice	3.2	5.9
Lateral Thrust @ 100mph lbs	49	82	161
Wind Gust Rating mph	No ice	149	134
	With ice	117	112
Torque @100mph ft-lbs	82	268	1045

Model	BA40-67-DIN - H Plane	BA80-67-DIN - H Plane	BA160-67-DIN - H Plane
Model	BA40-67-DIN - E Plane	BA80-67-DIN - E Plane	BA160-67-DIN - E Plane

(1) Single section arrays are rated to -150dBc PIM rating. Dual section (BA160) arrays are rated at -140dBc.
(2) Factory pre-set downtilt of 3° may be specified on BA160-67-DIN antennas by adding -T3 to the part number ordered e.g. BA160-67-DIN-T3
BA160-67-DIN will be shipped in the configuration of 2 arrays (BA8080-67-DIN) along with an external harness PA82-67-DIN. Detailed instruction is provided for field assembly.

RFI
9329 Ravena Rd.
Suite C
Twinsburg OH 44087 USA
Phone: 330 486 0706
Fax: 330 486 0705

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ANTENNA SPECIFICATIONS

SHL - SHAFTER LMR
4451 FANUCCHI WAY
SHAFTER, CA 93263

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BASE STATION ANTENNAS

VHF YAGI ANTENNA

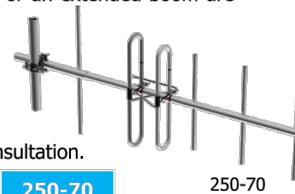
138-174 MHz

290 Series VHF Yagi Antennas



The 290 Series VHF Yagi Antenna are available in 2, 3, and 6 element configurations. All our antennas can be completely customized to your applications. Our antennas can be black anodized, vertically or horizontally polarized, and heavy-duty versions are available. By default, our Yagi antennas are end mounted. But a center mount or an extended boom are also available for certain models.

- Each antenna has a rugged design to withstand harsh environmental conditions.
- The mounting hardware supplied will permit either vertical or horizontal polarization.
- Heavy-duty versions are available. Please contact our Technical Support team for consultation.



Electrical Specifications	291-70	295-70	290-70	250-70
Frequency Range, MHz (in splits)	138-174	138-174	138-174	138-174
Nominal Gain, dBd	3.5	6.5	9.5	7
Number of Elements	2	3	6	6
Bandwidth 2.0:1 VSWR, MHz (Ctr. Freq. %)	36	4%	4%	36
Polarization	Vertical or Horizontal			
Horizontal Beamwidth (Horizontal Pol.)	140°	90°	62°	80°
Vertical Beamwidth (Horizontal Pol.)	70°	61°	50°	60°
Front to Back, dB	15	12	17	25
Pattern	Directional			
Power Rating, Watts	350	350	350	250
Nominal Impedance, Ohms	50	50	50	50
Lightning Protection	DC Ground			
Standard Termination	Type N Male			
Mechanical Specifications	291-70	295-70	290-70	250-70
Length, in (mm)	50 (1270)	60 (1524)	108 (2743)	104 (2642)
Width, in (mm)	40 (1016)	43 (1092)	42 (1067)	42 (1067)
Weight, lbs. (kg)	4.8 (2.2)	6.5 (2.9)	12.0 (5.4)	12.0 (5.4)
Rated Wind Velocity, No Ice, mph (km/h)	150 (241)	145 (223)	120 (177)	110 (177)
Rated Wind Velocity, 0.5" (13mm) ice, mph (km/h)	105 (169)	100 (161)	85 (137)	90 (145)
Lateral Thrust @ 100 mph, wind, lbs. (kg)	29 (13)	39 (18)	65 (29)	95 (43)
Projected Area, ft ² (m ²)	1.1 (0.10)	1.4 (0.13)	2.4 (0.22)	2.6 (0.24)
Mounting Hardware Included	181-85 Clamp	181-85 Clamp	115-85 Clamp	115-85 Clamp



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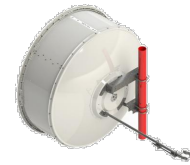
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VHLP6-6W-4WH/B



1.8 m | 6 ft ValuLine® High Performance Low Profile Antenna, single-polarized, 5.925–7.125 GHz, PDR70, white antenna, flexible woven polymer gray radome without flash, standard pack—one-piece reflector

Product Classification

Product Type Microwave antenna
Product Brand ValuLine®

General Specifications

Antenna Type VHLP - ValuLine® High Performance Low Profile Antenna, single-polarized
Polarization Single
Antenna Input PDR70
Antenna Color White
Reflector Construction One-piece reflector
Radome Color Gray
Radome Material Polymer
Flash Included No
Side Struts, Included 1
Side Struts, Optional 1 inboard

Dimensions

Diameter, nominal 1.8 m | 6 ft

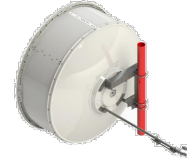
Electrical Specifications

Operating Frequency Band 5.925 – 7.125 GHz
Gain, Low Band 38.5 dBi
Gain, Mid Band 39.3 dBi
Gain, Top Band 40.1 dBi
Boresite Cross Polarization Discrimination (XPD) 30 dB
Front-to-Back Ratio 66 dB
Beamwidth, Horizontal 1.8 °

Page 1 of 6

VHLP6-11W/A

Base Product



1.8 m | 6 ft ValuLine® High Performance Low Profile Antenna, single-polarized, 10.000–11.700 GHz

Product Classification

Product Type Microwave antenna
Product Brand ValuLine®

General Specifications

Antenna Type VHLP - ValuLine® High Performance Low Profile Antenna, single-polarized
Polarization Single
Side Struts, Included 1
Side Struts, Optional 1 inboard

Dimensions

Diameter, nominal 1.8 m | 6 ft

Electrical Specifications

Operating Frequency Band 10.000 – 11.700 GHz
Gain, Low Band 43.2 dBi
Gain, Mid Band 44 dBi
Gain, Top Band 44.8 dBi
Boresite Cross Polarization Discrimination (XPD) 30 dB
Front-to-Back Ratio 70 dB
Beamwidth, Horizontal 1 °
Beamwidth, Vertical 1 °
Return Loss 17.7 dB
VSWR 1.3
Radiation Pattern Envelope Reference (RPE) 7366A
Electrical Compliance Brazil Anatel Class 3 | Canada SRSP 310.5 | Canada SRSP 310.7 Part A | Canada SRSP 310.7 Part B | ETSI 302 217 Class

Page 1 of 5

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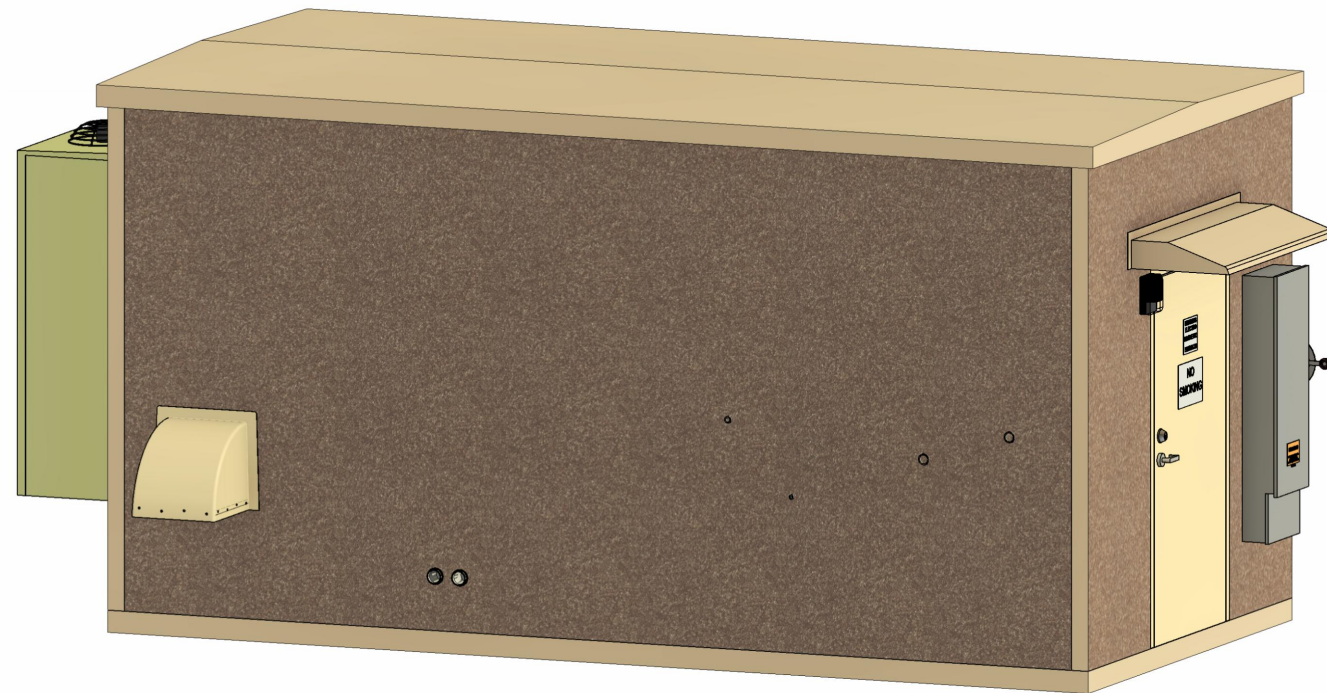
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3D VIEW

REVISIONS				
CHG BY	APPR BY	DATE	REV	DESC.

PRELIMINARY - P 3
NOT FOR CONSTRUCTION USE
10/30/2025

Customer(s):
CITY OF BAKERSFIELD
Site Name(s):
SHL-SHAFTER LMR
P.O. #: DS92017907-LINE 3
JOB #: 250471/17787
DASH #: -001

VFP, INC.
CORPORATE OFFICE
5410 FALLOWATER LANE
ROANOKE, VIRGINIA 24018-0906
(540) 977-0500 (540) 977-5555 FAX
MANUFACTURING FACILITY
540 INDUSTRIAL PARK ROAD
DUFFIELD, VIRGINIA 24244
(276) 431-4000 (276) 431-1756 FAX

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CHECKED BY		DATE	
CHECKED BY		DATE	
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SIZE	B	CAGE NO	REV
SCALE		MODEL	7638
TITLE	10'0" x 20'0" x 9'2" CONCRETE SHELTER		
DRAWING NO.	207638		
SHEET	E04 OF E28		

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4800 FALLS OF NEUSE ROAD
SUITE #200
RALEIGH, NORTH CAROLINA 27609
(919) 783-9214



SHELTER SPECIFICATIONS
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RESOLUTION NO. 26-484

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SHAFTER APPROVING CONDITIONAL USE PERMIT NO. 26-160 TO EXPAND AN EXISTING WIRELESS COMMUNICATIONS FACILITY LOCATED AT 4451 FANUCCHI WAY, SHAFTER, CALIFORNIA 93263 (ASSESSOR'S PARCEL NUMBER 091-261-16)

WHEREAS, the Planning Commission has, at its regularly scheduled meeting on May 12, 2026, studied and considered the proposed request for Conditional Use Permit (CUP) No. 26-160 to expand an existing wireless telecommunications facility located at 4451 Fanucchi Way, Shafter, CA 93263 (Assessor's Parcel Number 091-261-16) ("Project") as shown in Exhibit "A"; and

WHEREAS, the Planning Commission has determined that CUP No. 26-260 is exempt from CEQA under Sections 15302 and 15303 of the CEQA Guidelines because the Project consists of the replacement or reconstruction of existing structures located on the same site as the structures being replaced and that will have substantially the same purpose as well as the construction and location of limited number of new, small structures; and

WHEREAS, a timely and properly noticed public hearing for CUP No. 26-160 was held by the Planning Commission of the City of Shafter at a regular meeting on May 12, 2026, at which hearing evidence, oral and documentary, was admitted on behalf of said Project; and

WHEREAS, the Planning Commission finds that the proposed use is permitted within the Industrial ("I") District, is consistent with the goals, policies, and objectives of the General Plan, and is consistent with the applicable development policies and standards of the City; and

WHEREAS, the Planning Commission finds the proposed use would not impair the integrity and character of the I District in which the conditional use permit is to be established; and

WHEREAS, the Planning Commission finds that the project site is suitable for the type and intensity of use proposed under the conditional use permit; and

WHEREAS, the Planning Commission finds that there is adequate provision for water, sanitation, public utilities, and services to ensure public health and safety for the conditional use permit; and

WHEREAS, the conditional use permit will not be detrimental to the public health, safety, or welfare, or materially injurious to properties and improvements in the vicinity of the project site; and

WHEREAS, the Planning Commission finds that the attached Conditions of Approval are deemed necessary for the safety and welfare of the community.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Shafter, in a regular session assembled on the 12th day of May 2026, approves Conditional Use Permit No. 26-160 to expand an existing wireless telecommunications facility located at 4451 Fanucchi Way, Shafter, CA 93263, as illustrated in Exhibit “A”, for property located on Assessor’s Parcel Number 091-261-16, and as described in Planning Commission Resolution No. 26-484, with conditions of approval as provided in Exhibit “B”.

PASSED AND ADOPTED THIS 12th DAY OF MAY 2026.

Lovedeep Joshan, Chairman

ATTEST

Yazmina Pallares, City Clerk

- GROUND SCOPE OF WORK**
- INSTALL (1) 10'-0" x 20'-0" UNMANNED EQUIPMENT SHELTER WITH (N) EQUIPMENT
 - INSTALL 23 LF GALVANIZED COAX CABLE ICE BRIDGE
 - INSTALL (1) 30KW DIESEL GENERATOR WITH 225 GALLON BELLY TANK WITH (N) CONCRETE PAD
 - INSTALL 12'-0" WIDE x 8'-0" TALL ACCESS GATE ALONG EXISTING FENCE
 - INSTALL (N) BOLLARDS
 - INSTALL (N) GRAVEL ACCESS DRIVEWAY WITH TURNAROUND AREA

- TOWER SCOPE OF WORK**
- INSTALL (3) SITEPRO1 #HS6-K STAND-OFF MOUNTS
 - INSTALL (3) COMMSCOPE #PM-SU4-63 PIPE MOUNTS
 - INSTALL (2) RFI #BA160-67-DIN ANTENNAS PER RF
 - INSTALL (1) COMMPROD #295-70 YAGI ANTENNA PER RF
 - INSTALL (2) COMMSCOPE #VHLP6-11W MICROWAVE ANTENNAS PER RF
 - INSTALL (1) COMMSCOPE #VHLP6-6W MICROWAVE ANTENNA PER RF
 - INSTALL (2) GTR GPS ANTENNAS PER PF
 - INSTALL (8) COAX CABLES

- ELECTRICAL, WATER, AND SEWAGE SCOPE OF WORK**
- INSTALL NEW ELECTRICAL SERVICE TO PROPOSED EQUIPMENT SHELTER.
 - NO NEW WATER OR SEWAGE TO OR FROM THE SITE.

SITE NAME: SHL - SHAFTER LMR
SITE ADDRESS: 4451 FANUCCHI WAY
 SHAFTER, CA 93263

SITE COORDINATES AND ELEVATION

LATITUDE - N 35° 26' 34.40"
 LONGITUDE - W 119° 11' 56.40"
 GRD. ELEV - 343.75± AMSL
 GP DESIGNATION - CONSERVATION
 USE CODE - 6030 - INCORPORATED CITY
 ATN - 091-261-16-00-4
 PARCEL NUMBER - 091-261-16-4
 PARCEL SIZE - 21.74 ACRES

SITE INFORMATION

PROPERTY OWNER
 CITY OF SHAFTER
 336 PACIFIC AVENUE
 SHAFTER, CA 93263

REPRESENTATIVE
 SEAN REIS
 TECHNOLOGY SERVICES SUPERVISOR
 1501 TRUXTON AVE
 BAKERSFIELD, CA 93301
 PH: (661) 868-4013
 SREIS@BAKERSFIELD.CITY.US

APPLICANT
 SCOUT SERVICES
 DAN WADDELL
 480 QUAIL RIDGE DR.
 WESTMONT, IL 60559
 PH: (630) 413-9020
 DWADDELL@SCOUTSERVICES.COM

PROJECT MANAGER
 MOTOROLA SOLUTIONS
 GARY DURBIN
 PH: (925) 813-1902
 GARY.DURBIN@MOTOROLASOLUTIONS.COM

CONSTRUCTION MANAGER
 PYRAMID NETWORK SERVICES, LLC
 KEVIN HERRING
 PH: (951) 452-4121
 KHERRING@PYRAMIDNS.COM

ARCHITECTURAL AND ENGINEERING
 KCI TECHNOLOGIES, INC.
 4800 FALLS OF NEUSE RD.,
 SUITE 200
 RALEIGH, NC 27609
 ERIC S. KOHL, P.E.
 PH: (919) 783-9214
 ERIC.KOHL@KCI.COM

POLICE DEPARTMENT
 SHAFTER POLICE DEPT.
 201 CENTRAL VALLEY HWY
 SHAFTER, CA 93263
 PH: (661) 746-8500

FIRE DEPARTMENT
 KERN COUNTY FIRE STATION #32
 325 SUNSET AVE.
 SHAFTER, CA 93263
 PH: (661) 746-3933

CONSULTANT TEAM

PROJECT REPRESENTATIVE	RECEIVED:
	ACCEPTED:
CITY OF BAKERSFIELD REPRESENTATIVE	RECEIVED:
	ACCEPTED:
PROPERTY OWNER	RECEIVED:
	ACCEPTED:
APPROVALS	



DIRECTIONS TO SITE **DIRECTIONS TO HOSPITAL**

SHL SHAFTER LMR

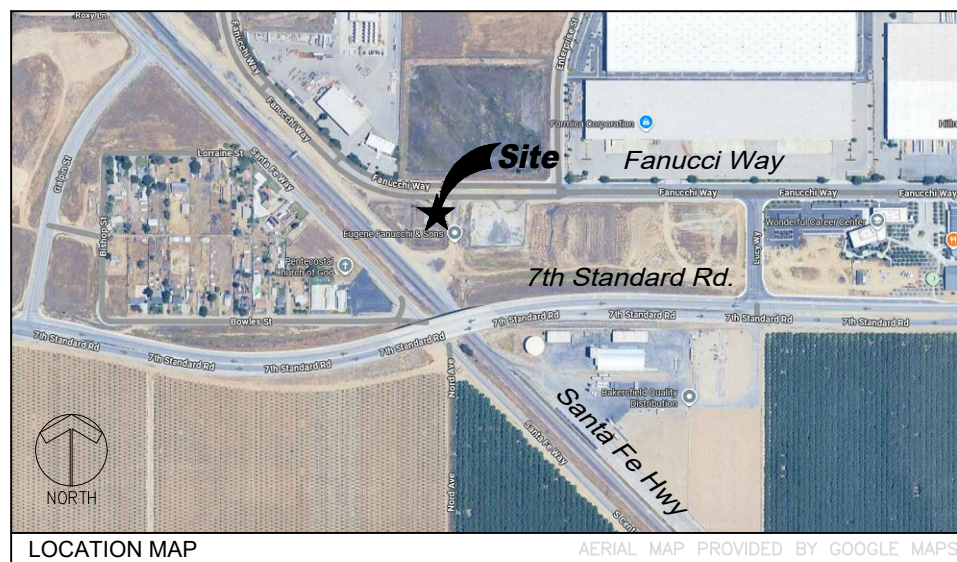
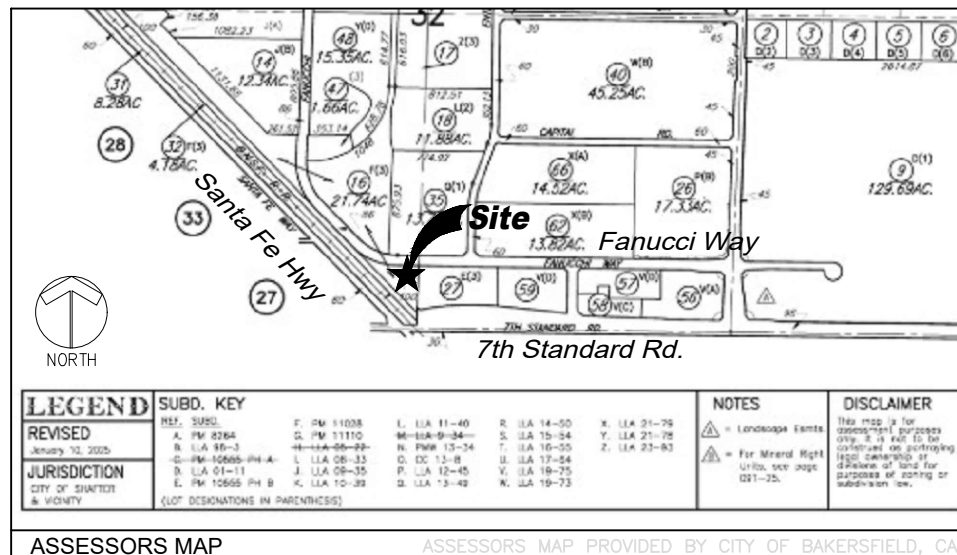
4451 FANUCCHI WAY SHAFTER, CA 93263 KERN COUNTY, CALIFORNIA

DRAWING INDEX

- ▲▲▲ T-1 PROJECT INFORMATION, LOCATION MAPS, AND DRAWING INDEX
- ▲▲▲ C-1 SITE LOCATION PLAN
- ▲▲▲ C-1.1 OVERALL SITE PLAN
- ▲▲▲ C-1.2 TOPOGRAPHY PLAN
- ▲▲▲ C-1.3 SITE SURVEY
- ▲▲▲ C-1.4 SITE SURVEY
- ▲▲▲ C-2 ENLARGED SITE PLAN
- ▲▲▲ C-2.1 DIMENSIONED SITE PLAN
- ▲▲▲ C-2.2 SITE SIGNAGE
- ▲▲▲ C-3 TOWER ELEVATIONS
- ▲▲▲ C-3.1 TOWER ELEVATIONS
- ▲▲▲ C-3.2 TOWER ELEVATIONS
- ▲▲▲ C-3.3 ANTENNA LOADING INFORMATION
- ▲▲▲ C-4 FENCE DETAILS
- ▲▲▲ C-5 CIVIL DETAILS
- Q-1 ANTENNA SPECIFICATIONS
- Q-1.1 ANTENNA SPECIFICATIONS
- Q-1.2 ANTENNA SPECIFICATIONS
- Q-1.3 SHELTER SPECIFICATIONS

APPROVAL STAMP

Exhibit A



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CALL TOLL FREE

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ENGINEER'S SEAL

▲	04/23/26	REVISED PER COMMENTS	TNW	ESK
▲	04/15/26	REVISED PER COMMENTS	TNW	ESK
H	11/25/25	ZONING DRAWINGS	TNW	ESK
G	11/19/25	ZONING DRAWINGS	TNW	ESK
F	11/14/25	ZONING DRAWINGS	TNW	ESK
#	DATE	REVISIONS	BY	CHK APP'D

KCI TECHNOLOGIES
 4800 FALLS OF NEUSE ROAD
 SUITE #200
 RALEIGH, NORTH CAROLINA 27609
 (919) 783-9214

PYRAMID Network Services, LLC

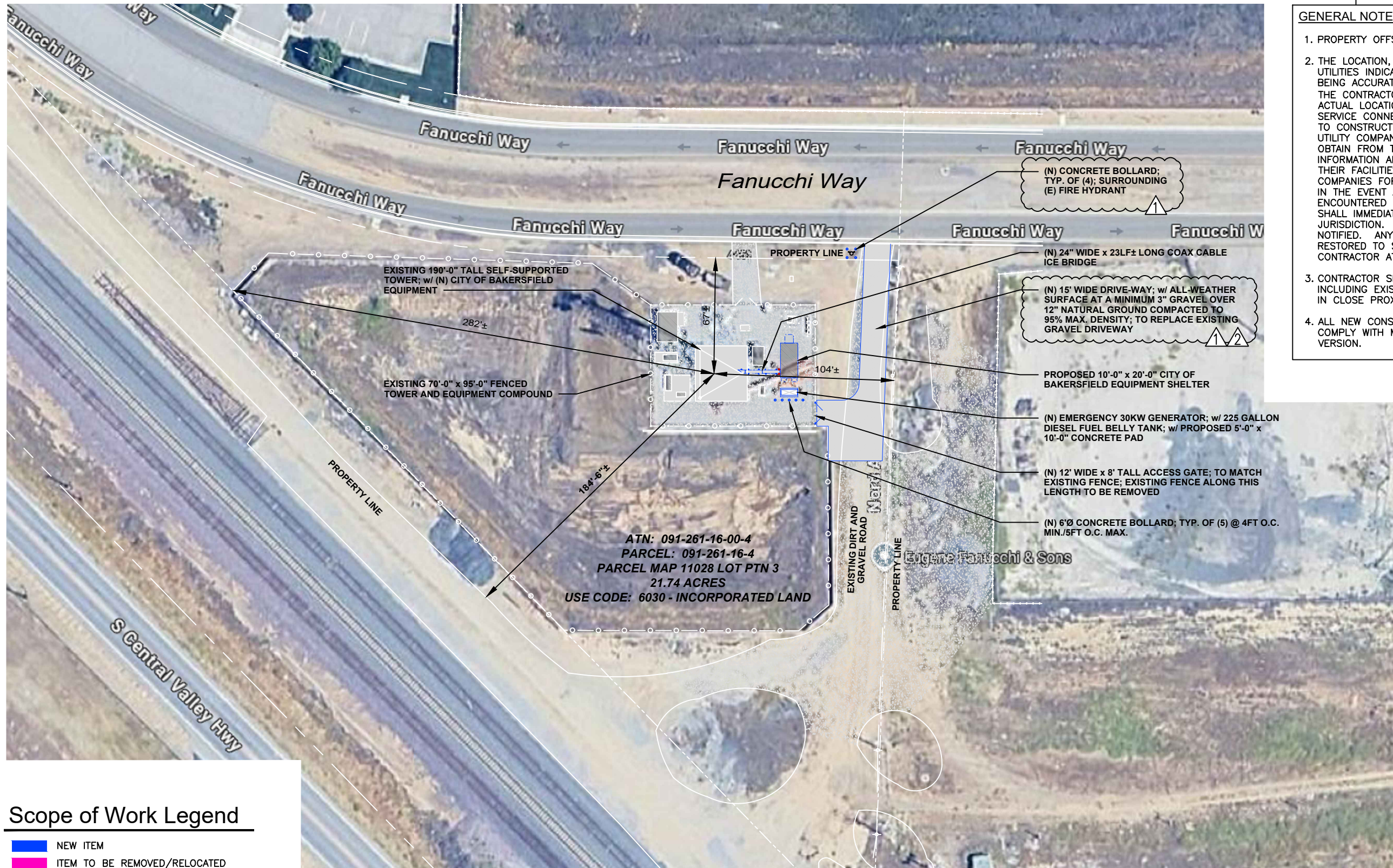
MOTOROLA SOLUTIONS



PROJECT INFORMATION, LOCATION MAPS, AND DRAWING INDEX
 SHL - SHAFTER LMR
 4451 FANUCCHI WAY
 SHAFTER, CA 93263

T-1

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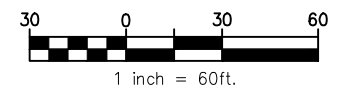
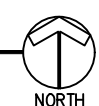
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Scope of Work Legend

- NEW ITEM
- ITEM TO BE REMOVED/RELOCATED
- EXISTING
- EXISTING (SHEET C-1)

Site Location Plan

SCALE: 1" = 60'



ANY DISCREPANCIES BETWEEN THIS DRAWING PACKAGE AND EXISTING FIELD CONDITIONS MUST BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.



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PYRAMID Network Services, LLC

MOTOROLA SOLUTIONS

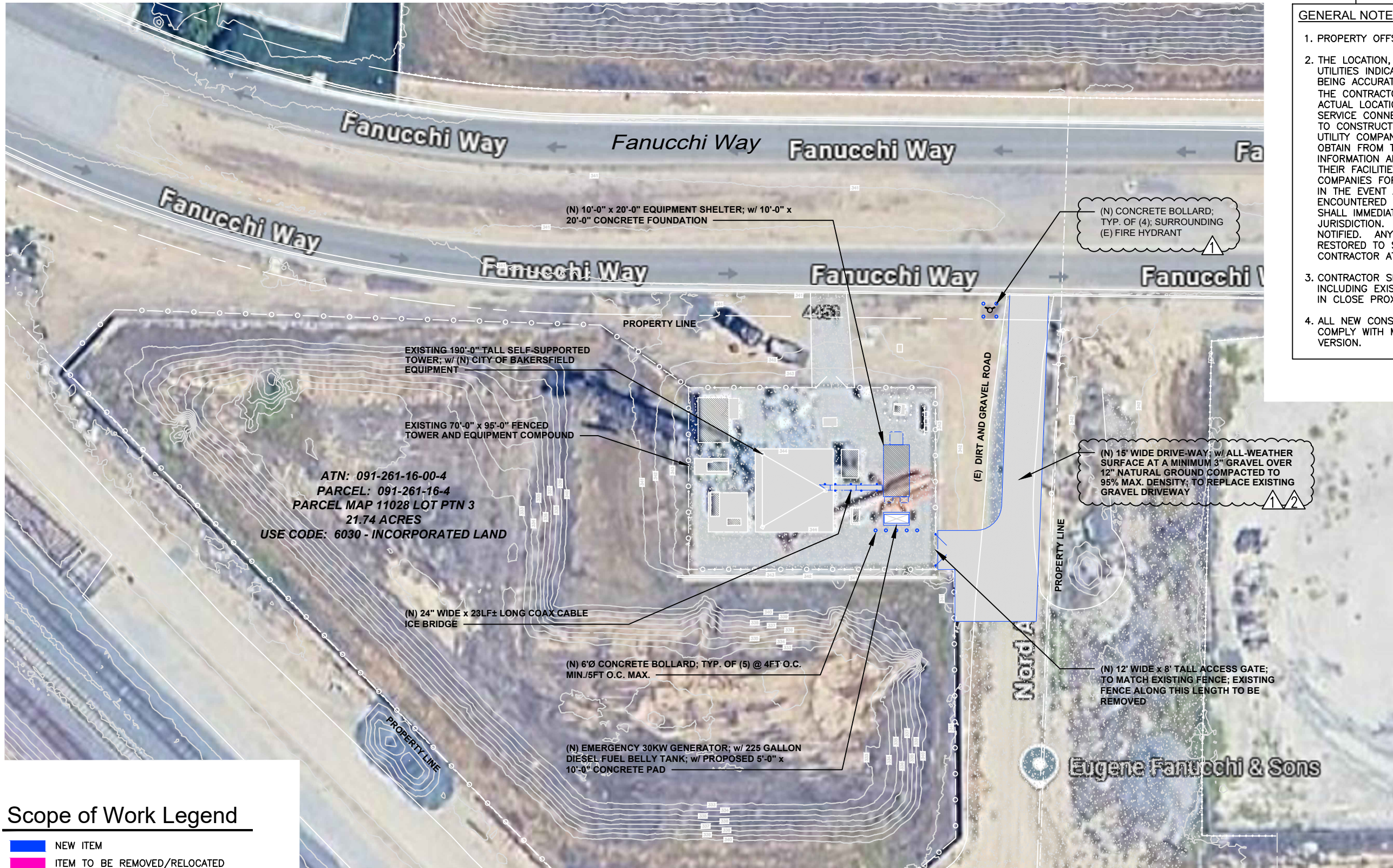


SITE LOCATION PLAN
SHL - SHAFTER LMR
4451 FANUCCHI WAY
SHAFTER, CA 93263

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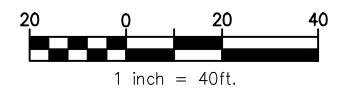
ATN: 091-261-16-00-4
 PARCEL: 091-261-16-4
 PARCEL MAP 11028 LOT PTN 3
 21.74 ACRES
 USE CODE: 6030 - INCORPORATED LAND

Scope of Work Legend

- NEW ITEM
- ITEM TO BE REMOVED/RELOCATED
- EXISTING
- EXISTING (SHEET C-1)

Overall Site Plan

SCALE: 1" = 40'



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OVERALL SITE PLAN
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C-1.1

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Fanucchi Way

(N) 10'-0" x 20'-0" EQUIPMENT SHELTER;
w/ 10'-0" x 20'-0" CONCRETE FOUNDATION

(N) CONCRETE BOLLARD;
TYP. OF (4); SURROUNDING
(E) FIRE HYDRANT

EXISTING 190'-0" TALL SELF-SUPPORTED
TOWER; w/ (N) CITY OF BAKERSFIELD
EQUIPMENT

EXISTING 70'-0" x 95'-0" FENCED
TOWER AND EQUIPMENT COMPOUND

ATN: 091-261-16-00-4
PARCEL: 091-261-16-4
PARCEL MAP 11028 LOT PTN 3
21.74 ACRES
USE CODE: 6030 - INCORPORATED LAND

(N) 24" WIDE x 23LF± LONG COAX
CABLE ICE BRIDGE

(N) 6"Ø CONCRETE BOLLARD; TYP. OF (5) ⊙
4FT O.C. MIN./5FT O.C. MAX.

(N) EMERGENCY 30KW GENERATOR; w/ 225
GALLON DIESEL FUEL BELLY TANK; w/ (N)
5'-0" x 10'-0" CONCRETE PAD

(N) 15' WIDE DRIVE-WAY; w/
ALL-WEATHER SURFACE AT A
MINIMUM 3" GRAVEL OVER 12"
NATURAL GROUND COMPACTED TO
95% MAX. DENSITY; TO REPLACE
EXISTING GRAVEL DRIVEWAY

(N) 12' WIDE x 8' TALL ACCESS
GATE; TO MATCH EXISTING FENCE;
EXISTING FENCE ALONG THIS
LENGTH TO BE REMOVED

APPROVAL STAMP

GENERAL NOTES:

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Scope of Work Legend

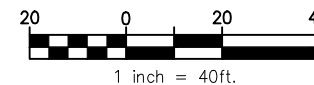
- NEW ITEM
- ITEM TO BE REMOVED/RELOCATED
- EXISTING
- EXISTING (SHEET C-1)

Contour Legend

- ✕ -xxx.xx SPOT ELEVATION (SUB-GRADE)
- EXISTING CONTOUR - MINOR
- EXISTING CONTOUR - MAJOR
- NEW CONTOUR
- LOD — NEW LIMIT OF DISTURBANCE
- SF — NEW SILT FENCE
- TP — NEW TREE PROTECTION FENCE

Topography Plan

SCALE: 1" = 40'



ANY DISCREPANCIES BETWEEN THIS
DRAWING PACKAGE AND EXISTING FIELD
CONDITIONS MUST BE REPORTED TO
THE ENGINEER OF RECORD PRIOR TO
THE COMMENCEMENT OF CONSTRUCTION.



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PYRAMID
Network Services, LLC

MOTOROLA
SOLUTIONS



TOPOGRAPHY PLAN

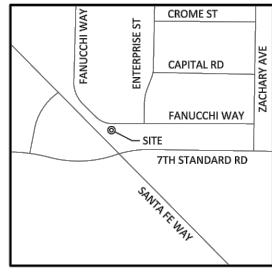
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C-1.2

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VICINITY MAP
NTS

LEGAL DESCRIPTION PER TITLE REPORT:

PARCEL 3 OF PARCEL MAP 11028 IN THE CITY OF SHAFER, COUNTY OF KERN, STATE OF CALIFORNIA, AS PER MAP RECORDED OCTOBER 20, 2004 IN BOOK 53, PAGES 156 THROUGH 159 INCLUSIVE, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

GENERAL INFORMATION:

1. APN: 091-261-16-4
2. PROPERTY OWNER: CITY OF SHAFER, A CALIFORNIA MUNICIPAL CORPORATION
3. ZONING DESIGNATION: I (INDUSTRIAL)

FLOODPLAIN DESIGNATION:

THE TOWER LOCATION SHOWN HEREON IS NOT LOCATED IN A 100-YEAR FLOODPLAIN

ZONE X
FEMA MAP NUMBER: 06029C1800E
EFFECTIVE DATE: SEPTEMBER 26, 2008

TITLE REPORT INFORMATION:

REFERENCE IS MADE TO THE TITLE REPORT
FILE NO.: UST80144
REFERENCE NO.: SHAFER LMR
ISSUED BY: U.S. TITLE SOLUTIONS
DATED: APRIL 16, 2025

EASEMENTS CONTAINED WITHIN SAID REPORT AFFECTING THE IMMEDIATE AREA:

1. NO-BUILD AGREEMENT BY CITY OF SHAFER TO WEATHERFORD ARTIFICIAL LIFT SYSTEMS, INC. PER DOCUMENT RECORDED AUGUST 22, 2012 AS INSTRUMENT NO. 0212116543, OFFICIAL RECORDS
2. FACILITY EASEMENT IN FAVOR OF PG&E PER DOCUMENT RECORDED OCTOBER 10, 2011 AS INSTRUMENT NO. 0211131668, OFFICIAL RECORDS
3. ROAD EASEMENT PER DOCUMENT RECORDED FEBRUARY 14, 2011 AS INSTRUMENT NO. 000211020185 OF OFFICIAL RECORDS (EXACT LOCATION CANNOT BE PLOTTED FROM RECORD INFORMATION; AFFECTS THE NORTHERLY EXTENSION OF FANUCCHI WAY, NORTH OF TOWER SITE)
4. JOINT USE AGREEMENT & GRANT OF EASEMENTS IN FAVOR OF EQUILON ENTERPRISES LLC PER DOCUMENT RECORDED MAY 12, 2010 AS INSTRUMENT NO. 0210063065 OF OFFICIAL RECORDS
5. JOINT USE AGREEMENT & GRANT OF EASEMENTS IN FAVOR OF CHEVRON U.S.A., INC. PER DOCUMENT RECORDED MAY 12, 2010 AS INSTRUMENT NO. 0210063064 OF OFFICIAL RECORDS
6. WIRELINE EASEMENT IN FAVOR OF ANT II, LLC PER DOCUMENT RECORDED MAY 25, 2005 AS INSTRUMENT NO. 0205134489 OF OFFICIAL RECORDS (EXACT LOCATION CANNOT BE PLOTTED FROM RECORD INFORMATION)
7. WATER PIPELINE EASEMENT IN FAVOR OF CITY OF SHAFER PER DOCUMENT RECORDED NOVEMBER 10, 1999 AS INSTRUMENT NO. 0199162517 OF OFFICIAL RECORDS (DOES NOT AFFECT SUBJECT PARCEL)
8. PIPELINE EASEMENT IN FAVOR OF GETTY OIL COMPANY PER DOCUMENT RECORDED MARCH 18, 1982 IN BOOK 5445, PAGE 496 OF OFFICIAL RECORDS (EXACT LOCATION CANNOT BE PLOTTED FROM RECORD INFORMATION)
9. COMMUNICATION EASEMENT IN FAVOR OF THE PACIFIC TELEPHONE AND TELEGRAPH COMPANY PER DOCUMENT RECORDED APRIL 28, 1977 IN BOOK 5023, PAGE 1697 OF OFFICIAL RECORDS

BENCHMARK

CONTROL POINT: 10
DESCRIPTION: REBAR WITH PLASTIC CAP IN SOUTH SIDE OF FANUCCHI WAY 3450' EAST OF TOWER SITE
NORTHING: 2349668.24
EASTING: 6204984.68
ELEVATION: 342.25

BASIS OF BEARINGS

NORTH AMERICAN DATUM OF 1983 (NAD83) CALIFORNIA COORDINATE SYSTEM (CCS), ZONE 5 WAS USED AS THE BASIS OF BEARINGS AS SHOWN HEREON.

BASIS OF ELEVATIONS

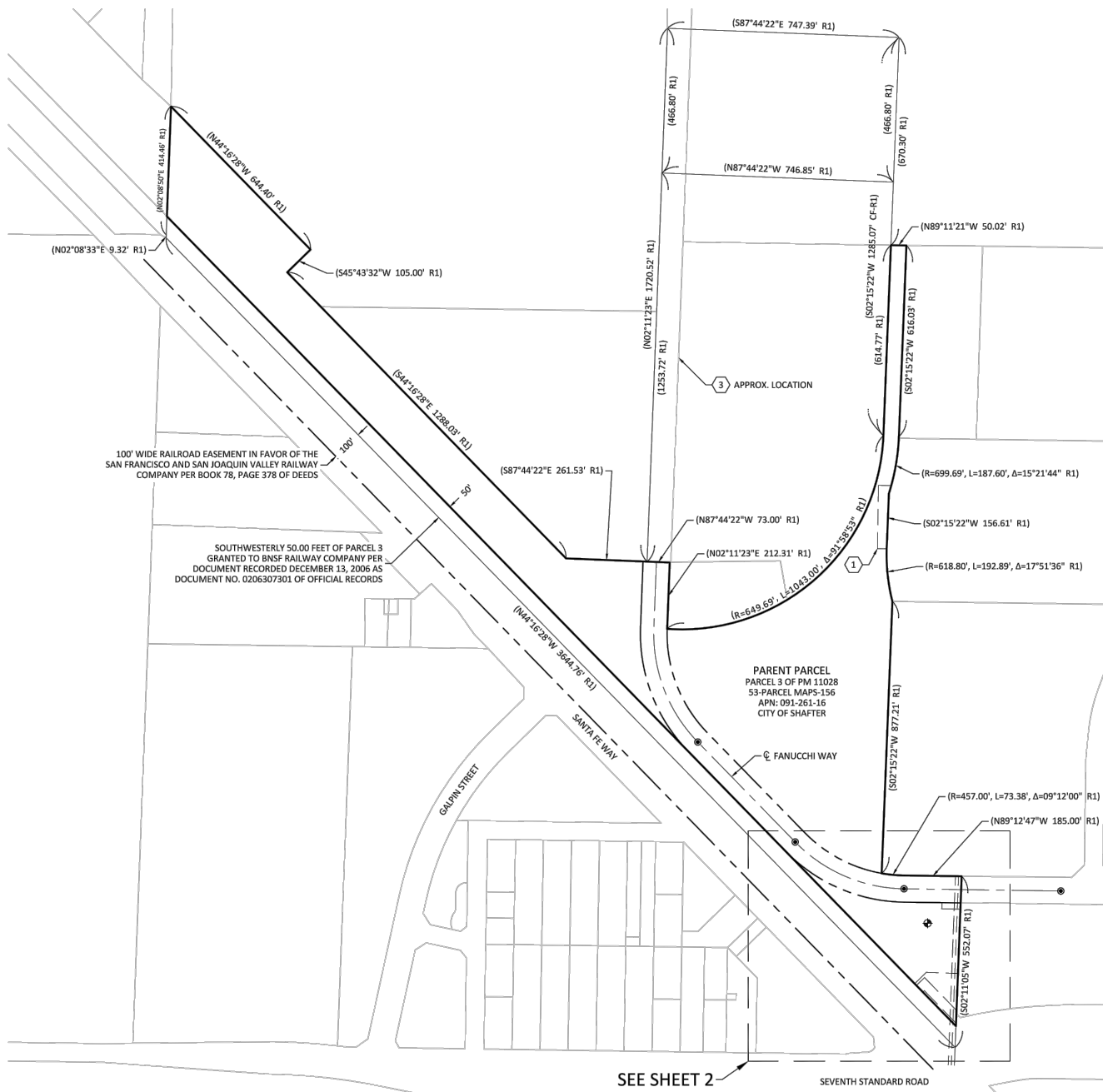
THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) WAS USED AS THE BASIS OF ELEVATION AS SHOWN HEREON.

POINT OF ORIGIN:

DESIGNATION: BUTTONWILLS2005 CORS ARP
CORS ID: P563
PID: DN75566
EPOCH: 2010.00
N: 2341686.41
E: 6138227.67
EL: 300.71

SURVEYOR'S STATEMENT:

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT.
BRYAN D. BOYDSTUN, PLS
DATE: August 12, 2025



POSITION OF GEODETIC COORDINATES
CENTER OF TOWER
LAT: 35.44287
LONG: -119.159
N: 2349634.33
E: 6204521.33
ELEV: 343.76

LEGEND

- FOUND MONUMENT
- EDGE OF PAVEMENT (EP)
- FENCE
- NG NATURAL GROUND
- ℓ FLOWLINE
- TC TOP OF CONCRETE
- FC FACE OF CURB
- EV ELECTRIC VAULT
- CF CALCULATED FROM



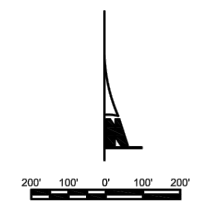
POINT CLOUD VIEWER - LINK



TOPOGRAPHY SURVEY
00009-SHAFTER LMR
PYRAMID / MOTOROLA
KERN COUNTY, CA
SHEET 1 OF 2

SURVEYOR'S NOTES:

1. THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.
2. FIELD WORK FOR THIS PROJECT WAS PERFORMED ON 07/25/2025
3. SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE.
4. SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT 811 AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.



APPROVAL STAMP

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			CHK APP'D



SITE SURVEY
SHL - SHAFER LMR
4451 FANUCCHI WAY
SHAFER, CA 93263

C-1.3

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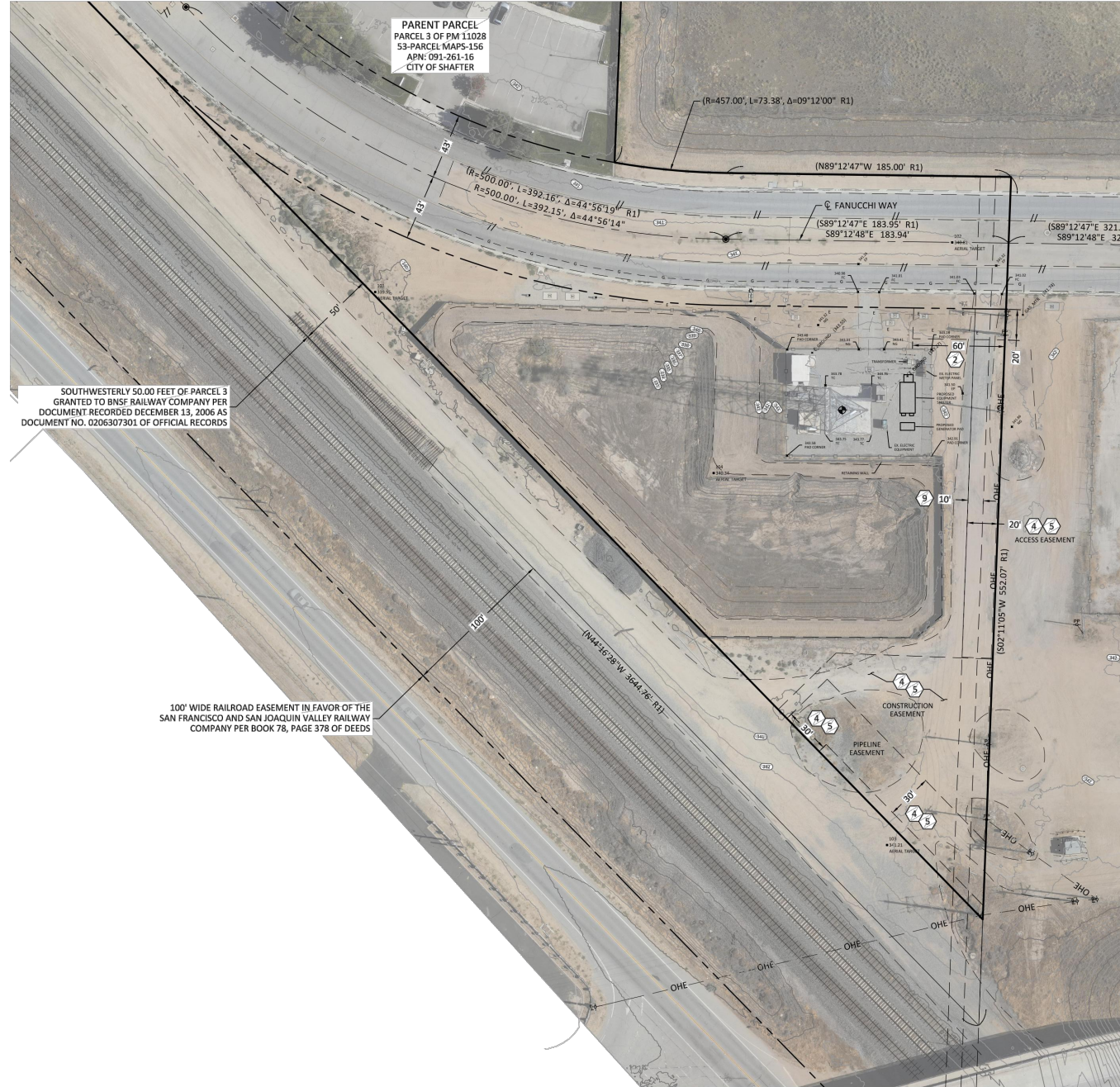
R1 BEARING AND/OR DISTANCE PER PARCEL MAP NO. 11028 RECORDED OCTOBER 20, 2004 IN BOOK 53, PAGE 156 OF PARCEL MAPS

TITLE REPORT INFORMATION:

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LONG: -119.159
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ELEV: 343.76

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- EV ELECTRIC VAULT
- CF CALCULATED FROM



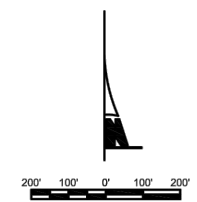
POINT CLOUD VIEWER - LINK



TOPOGRAPHY SURVEY
00009—SHAFTER LMR
PYRAMID / MOTOROLA
KERN COUNTY, CA
SHEET 2 OF 2

SURVEYOR'S NOTES:

1. THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.
2. FIELD WORK FOR THIS PROJECT WAS PERFORMED ON 07/25/2025
3. SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE.
4. SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT S11 AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.



BENCHMARK
CONTROL POINT: 10
DESCRIPTION: REBAR WITH PLASTIC CAP IN SOUTH SIDE OF FANUCCHI WAY 3450' EAST OF TOWER SITE
NORTHING: 2349668.24
EASTING: 6204984.68
ELEVATION: 342.25

BASIS OF BEARINGS
NORTH AMERICAN DATUM OF 1983 (NAD83) CALIFORNIA COORDINATE SYSTEM (CCS), ZONE 5 WAS USED AS THE BASIS OF BEARINGS AS SHOWN HEREON.

BASIS OF ELEVATIONS
THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) WAS USED AS THE BASIS OF ELEVATION AS SHOWN HEREON.

POINT OF ORIGIN:
DESIGNATION: BUTTONWILLCS2005 CORS ARP
CORS ID: P563
PID: DN17566
EPOCH: 2010.00
N: 2341686.41
E: 6138227.67
EL: 300.71

SURVEYOR'S STATEMENT:
THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT.
Bryan D. Boydstun
BRYAN D. BOYDSTUN, PLS
AUGUST 12, 2025
DATE



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CONSTRUCTION**

ENGINEER'S SEAL

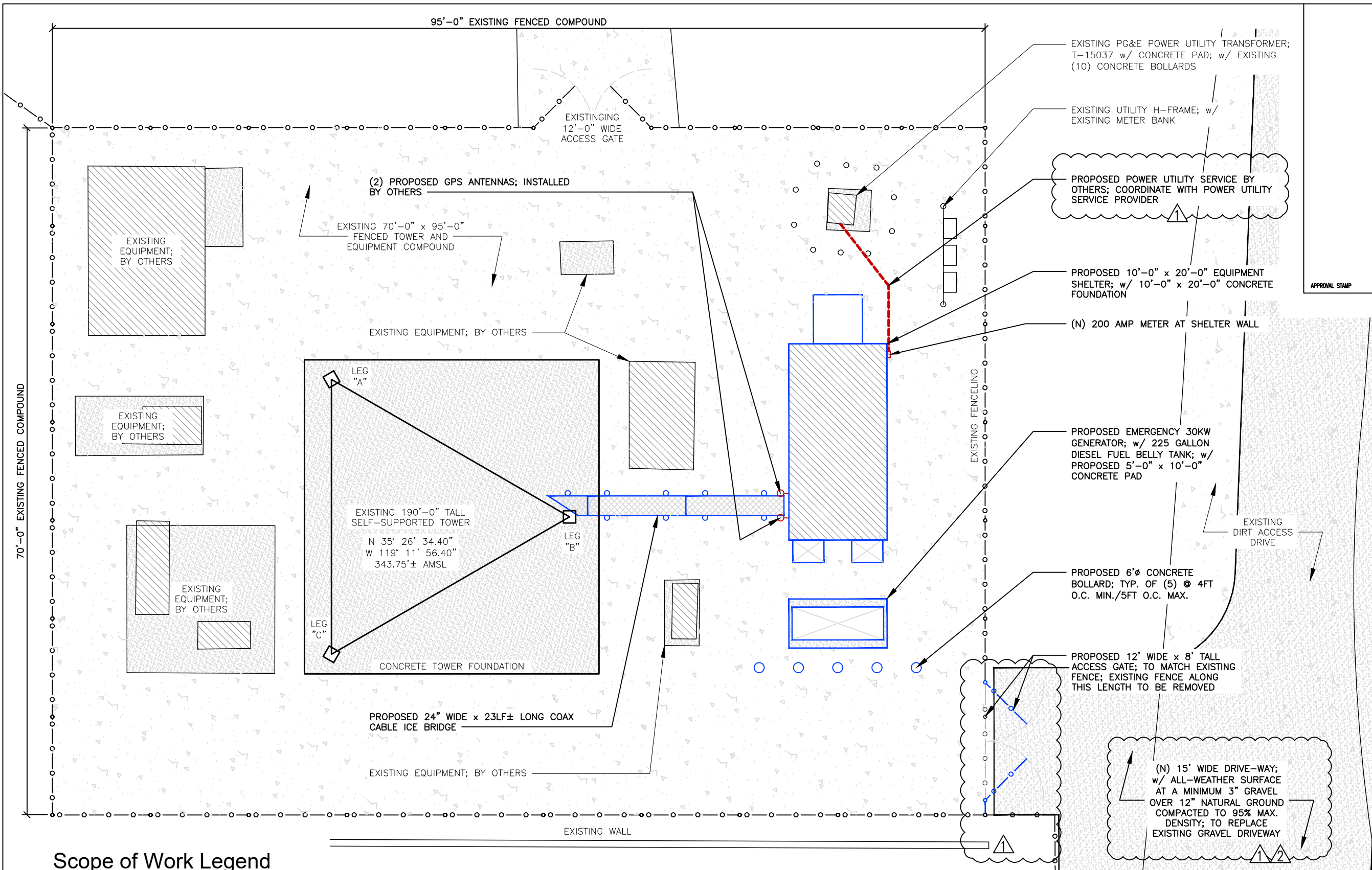
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Δ	04/15/26	REVISED PER COMMENTS	TNW	ESK	
H	11/25/25	ZONING DRAWINGS	TNW	ESK	
G	11/19/25	ZONING DRAWINGS	TNW	ESK	
F	11/14/25	ZONING DRAWINGS	TNW	ESK	
#	DATE	REVISIONS	BY	CHK	APP'D



SITE SURVEY
SHL - SHAFTER LMR
4451 FANUCCHI WAY
SHAFTER, CA 93263

C-1.4

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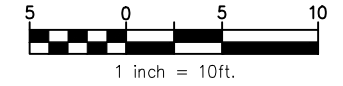


Scope of Work Legend

- NEW ITEM
- ITEM TO BE REMOVED/RELOCATED
- EXISTING

Enlarged Site Plan

SCALE: 1" = 10'



APPROVAL STAMP

811
Know what's below.
Call before you dig.
1-800-422-4133
CALL TOLL FREE

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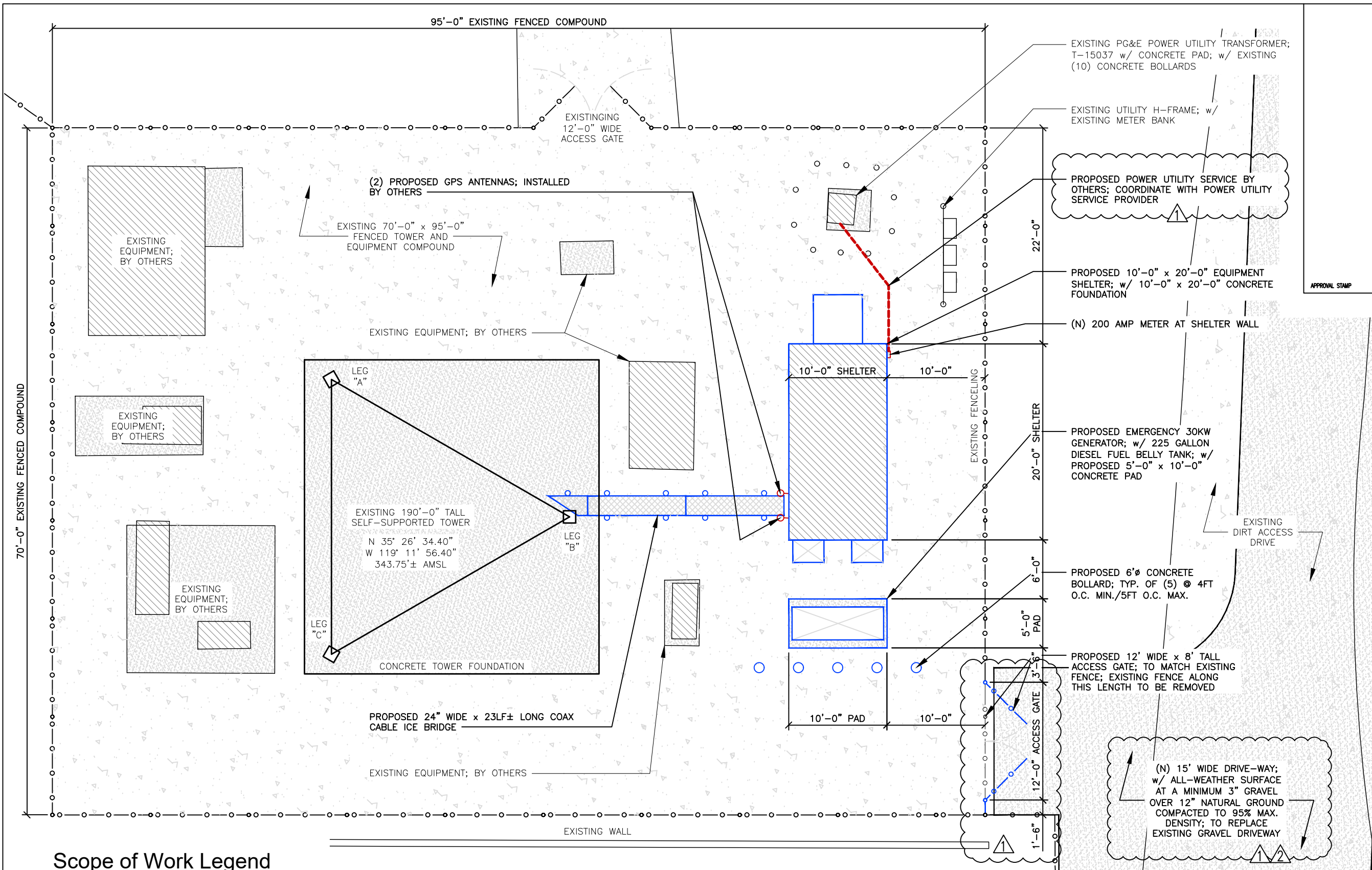
MOTOROLA
SOLUTIONS



ENLARGED SITE PLAN
SHL - SHAFTER LMR
4451 FANUCCHI WAY
SHAFTER, CA 93263

C-2

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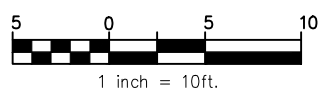
APPROVAL STAMP

Scope of Work Legend

- NEW ITEM
- ITEM TO BE REMOVED/RELOCATED
- EXISTING

Dimensioned Site Plan

SCALE: 1" = 10'



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Δ	04/15/26	REVISED PER COMMENTS	TNW	ESK	
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F	11/14/25	ZONING DRAWINGS	TNW	ESK	

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DIMENSIONED SITE PLAN
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SHAFTER, CA 93263

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SITE REGISTRATION SIGN:
 RICHARD TELL & ASSOC.; PART: MPN/SKU 8X12FTRK
 CONTRACTOR SHALL VERIFY ASR NUMBER PRIOR TO ORDERING SIGN.



1 Tower ASR Registration Sign

FOR EMERGENCY NOTIFICATION OR
 FOR ACCESS CALL _____
 (OPERATING ENTITY):
 (xxx) xxx-xxxx
 OR
 (xxx) xxx-xxxx

SITE NAME:
 SAMPLE SITE NAME
 SITE ADDRESS:
 XXXX SAMPLE STREET
 CITY NAME, CA XXXXX

CONTRACTOR SHALL VERIFY NOTIFICATION,
 CALL NUMBERS AND OTHER INFORMATION
 PRIOR TO ORDERING SIGN.

SITE CONTACT INFORMATION SIGN:

SMALL TEXT SHALL HAVE A MINIMUM TEXT
 HEIGHT OF 1.75"

LARGE TEXT SHALL HAVE A MINIMUM TEXT
 HEIGHT OF 2.5"

APPROVAL STAMP

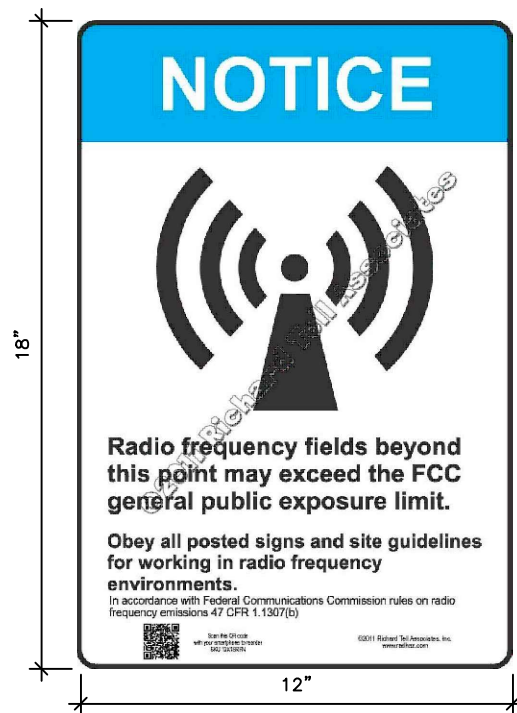
SITE SIGNAGE NOTES:

THE INTENT OF THE SITE SIGNAGE IS TO MEET THE REGULATORY AND MOTOROLA R-56 REQUIREMENTS FOR SITE SIGNAGE PER R-56 SECTION 3.15.1.

AT A MINIMUM, ALL SITES WHICH ARE NOT CONTINUOUSLY SUPERVISED SHALL HAVE THE FOLLOWING POSTED SIGNAGE:

- AUTHORIZED PERSONNEL ONLY. NO TRESPASSING.
- RESPONSIBLE ENTITY IDENTIFICATIONS.
- SITE OPERATING ENTITY WITH APPROPRIATE CONTACT INFORMATION.
- PERMIT OR LICENSE INFORMATION (AS ASSIGNED BY THE FEDERAL COMMUNICATIONS COMMISSION OR OTHER EQUIVALENT)
- RF EXPOSURE WARNING

ALL SITE SIGNAGE SHALL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR. QUESTIONS FROM THE GENERAL CONTRACTOR CONCERNING SITE SIGNAGE SHALL BE DIRECTED TO CONSTRUCTION MANAGER PRIOR TO ORDERING.



RF WARNING SIGN:
 RICHARD TELL & ASSOC.; PART:
 MPN/SKU 12X18RFN

3 RF Hazard Sign



4 No Trespassing Sign



5 No Smoking Sign

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ENGINEER'S SEAL

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MOTOROLA
 SOLUTIONS



SITE SIGNAGE DETAILS

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 SHAFTER, CA 93263

C-2.2

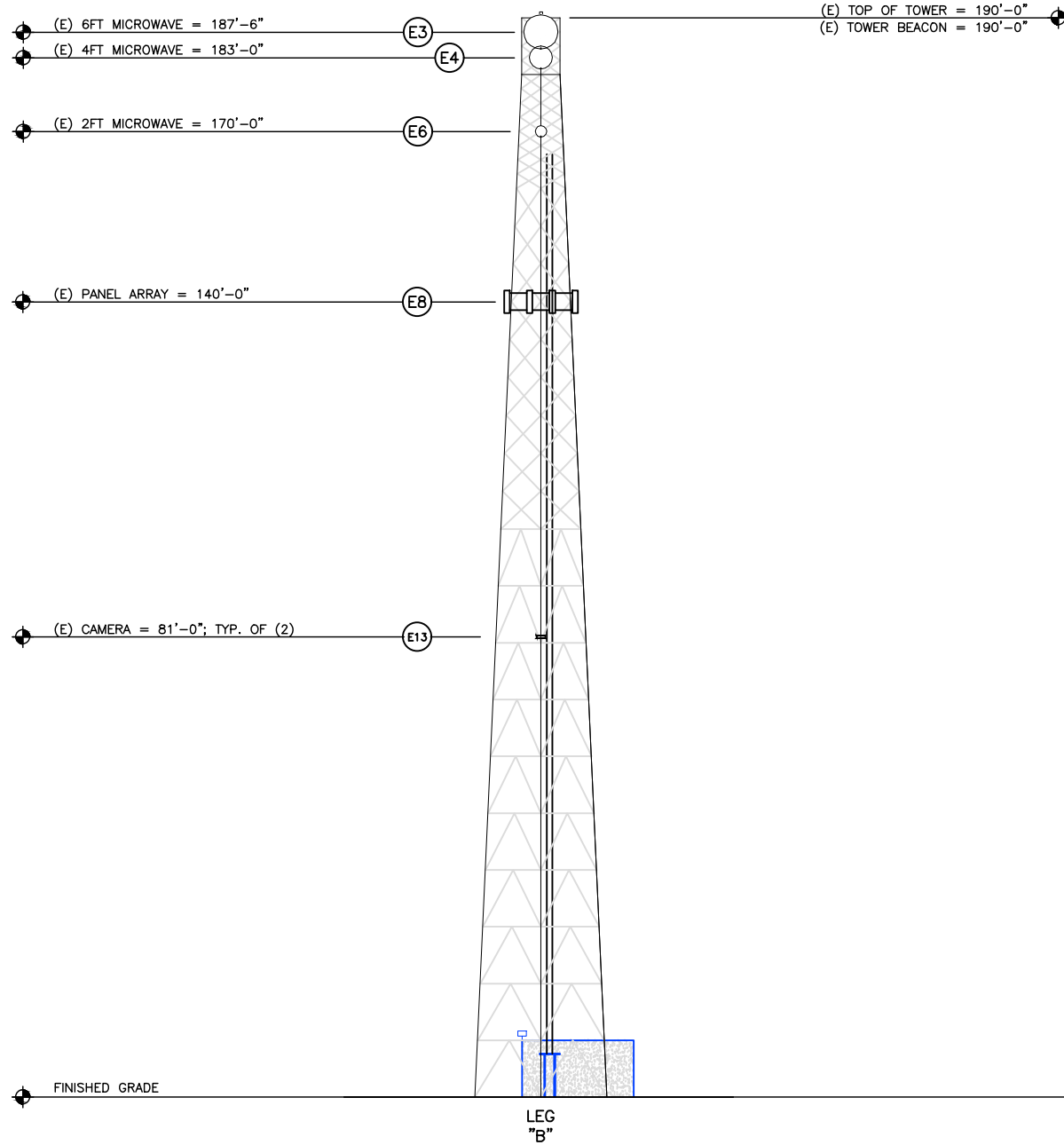
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TOWER ELEVATION NOTE:

1. NEW FEEDLINES TO BE ROUTED ON NEW COAX CABLES LADDER; LEG "B".
2. (N) 24" WIDE COAX CABLE LADDER TO BE ADDED TO (E) TOWER; FROM 10FT TO 166FT; FIELD VERIFY.
3. NEW BUS BARS ARE SHOWN FOR REFERENCE ONLY; CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION OF EACH.

Scope of Work Legend

- NEW ITEM
- ITEM TO BE REMOVED/RELOCATED
- EXISTING



Existing Primary Elevation Leg "B"

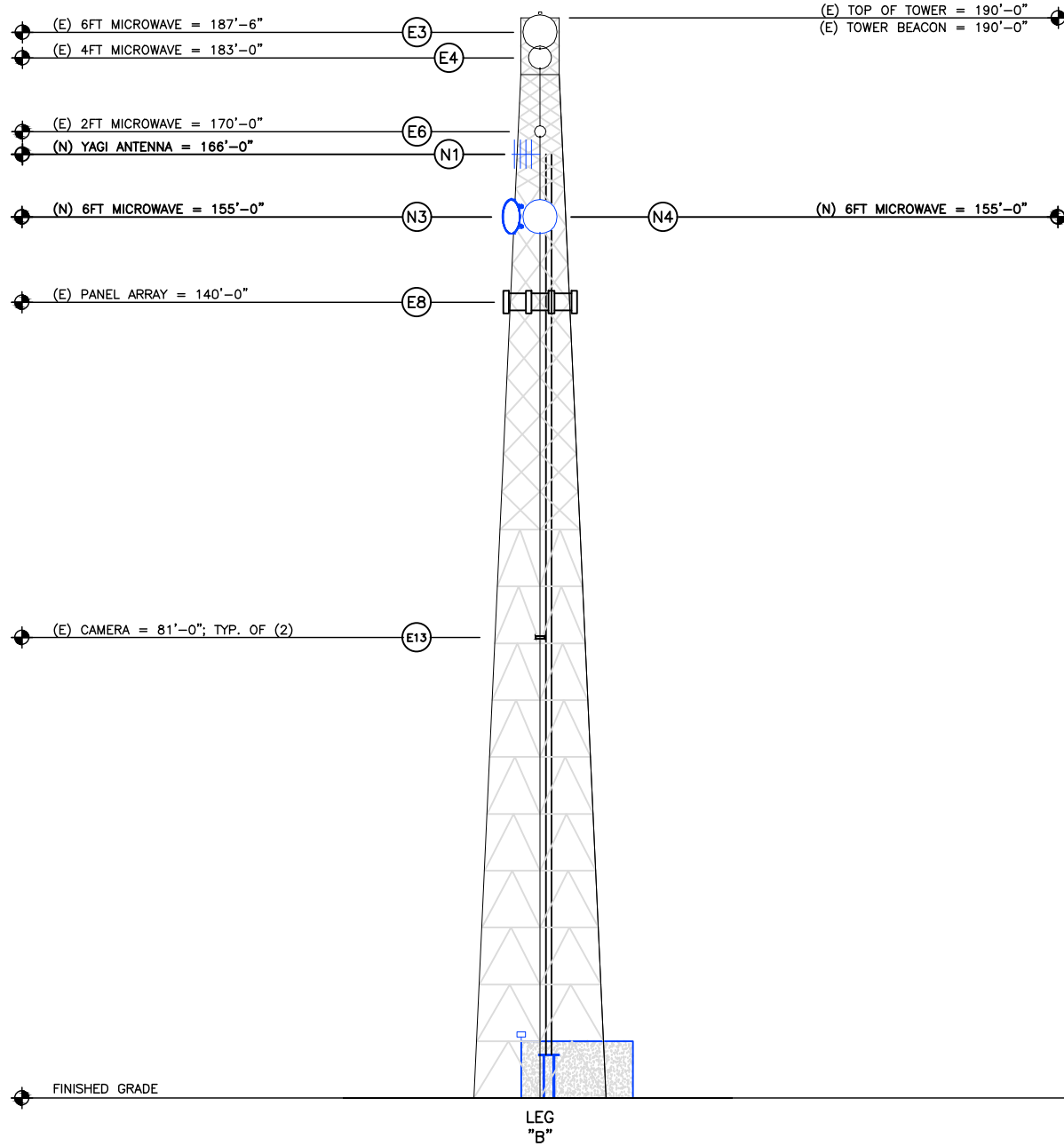
1 SCALE: 1" = 30'

TOWER ELEVATION NOTE:

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Scope of Work Legend

- NEW ITEM
- ITEM TO BE REMOVED/RELOCATED
- EXISTING



Proposed Primary Elevation Leg "B"

2 SCALE: 1" = 30'

APPROVAL STAMP

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ENGINEER'S SEAL

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TOWER ELEVATIONS

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C-3

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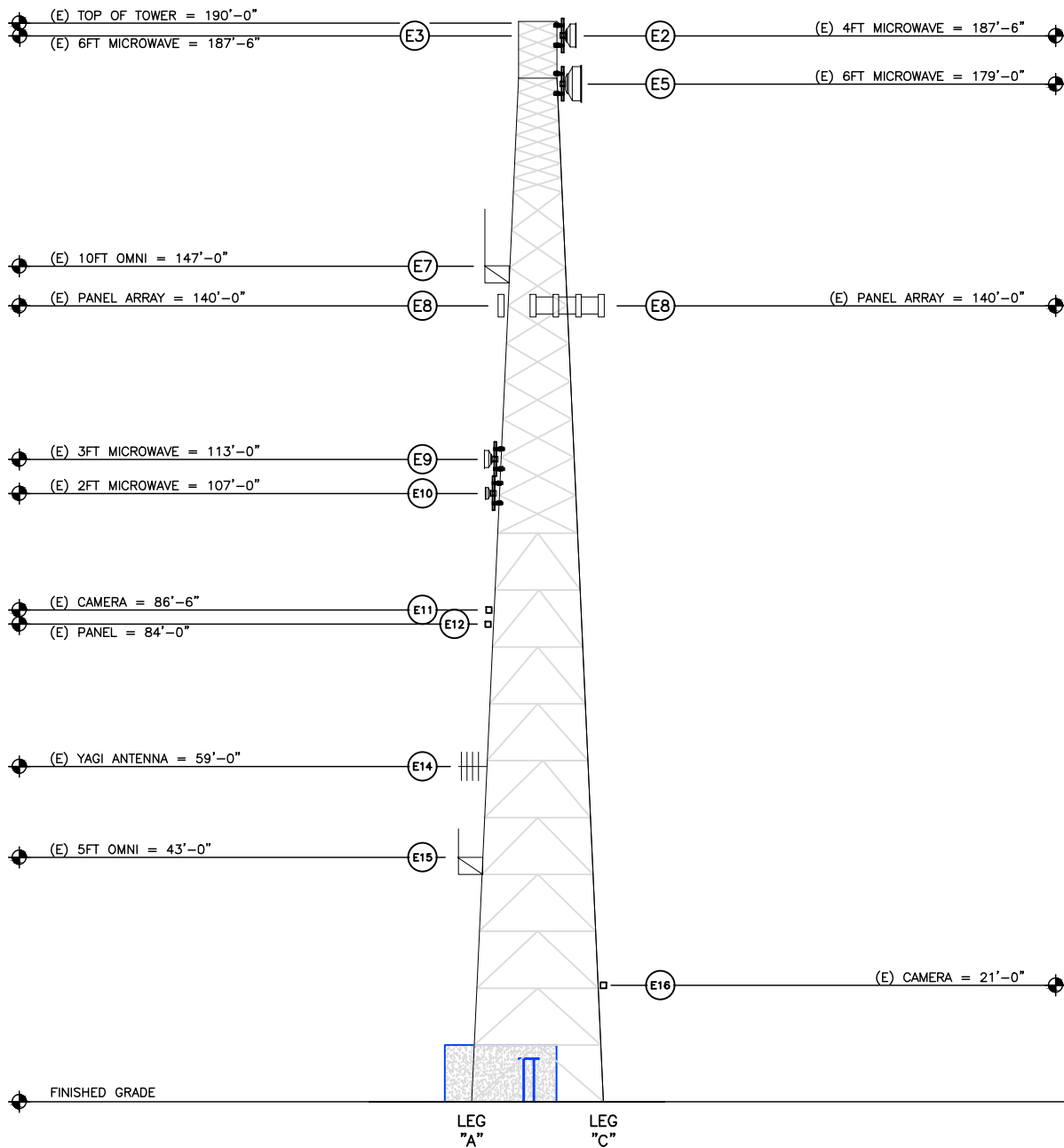
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Scope of Work Legend

- NEW ITEM
- ITEM TO BE REMOVED/RELOCATED
- EXISTING



Existing Secondary Elevation Face "A-C"

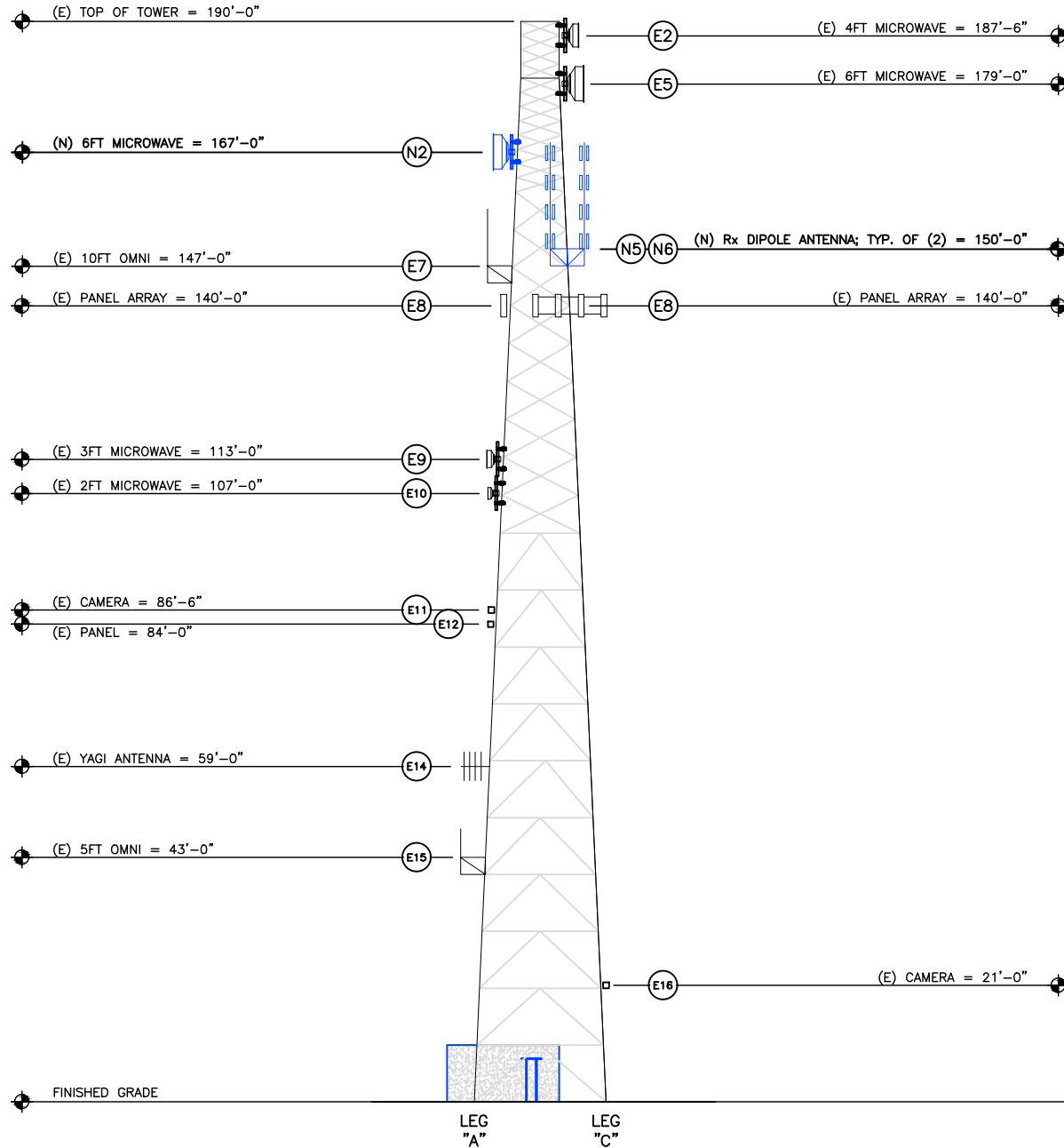
1 SCALE: 1" = 30'

TOWER ELEVATION NOTE:

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Scope of Work Legend

- NEW ITEM
- ITEM TO BE REMOVED/RELOCATED
- EXISTING



Proposed Secondary Elevation Face "A-C"

2 SCALE: 1" = 30'

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TOWER ELEVATIONS
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SHAFTER, CA 93263

C-3.1

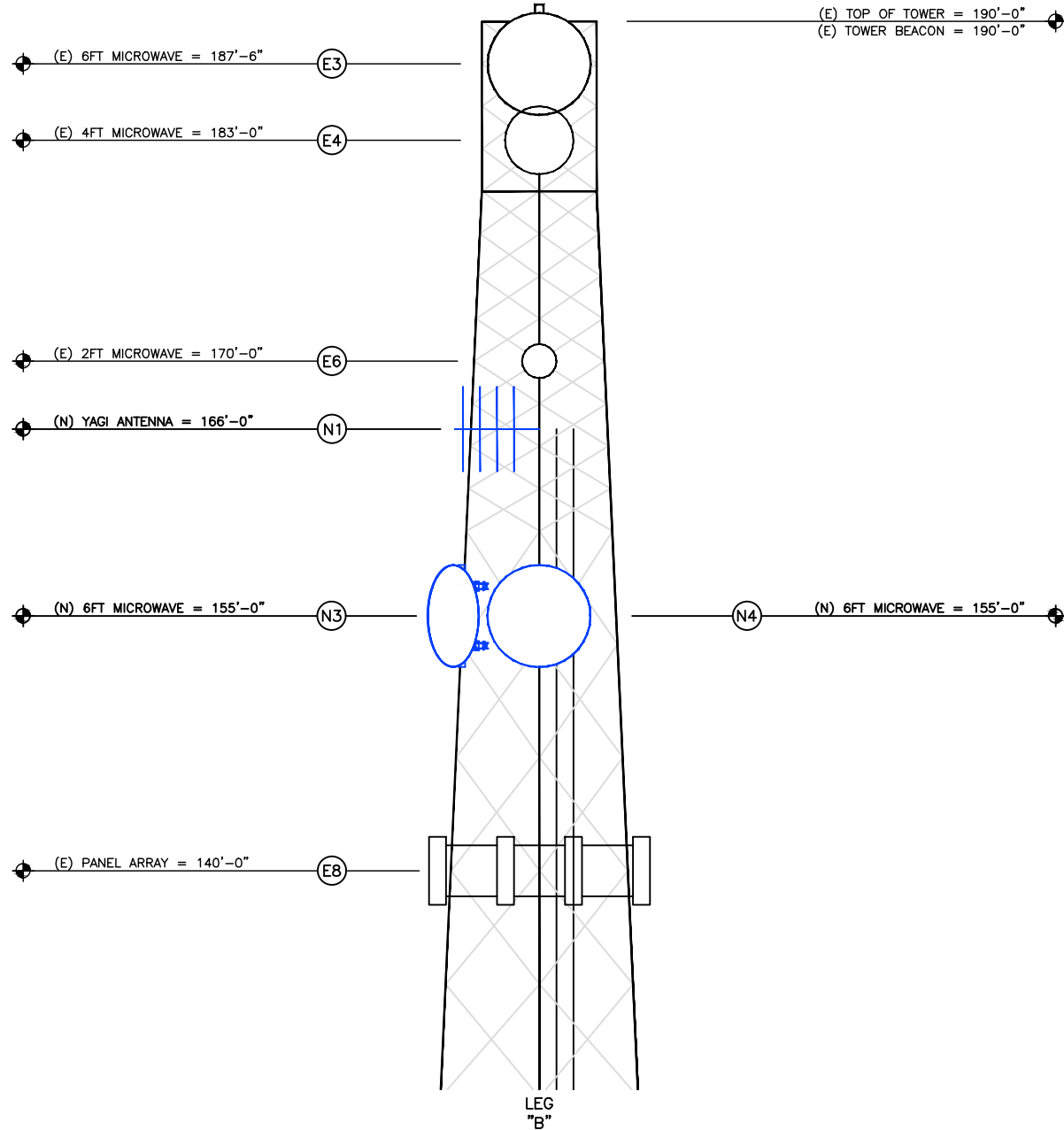
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Scope of Work Legend

- NEW ITEM
- ITEM TO BE REMOVED/RELOCATED
- EXISTING



**Proposed Primary Elevation
Leg "B"**

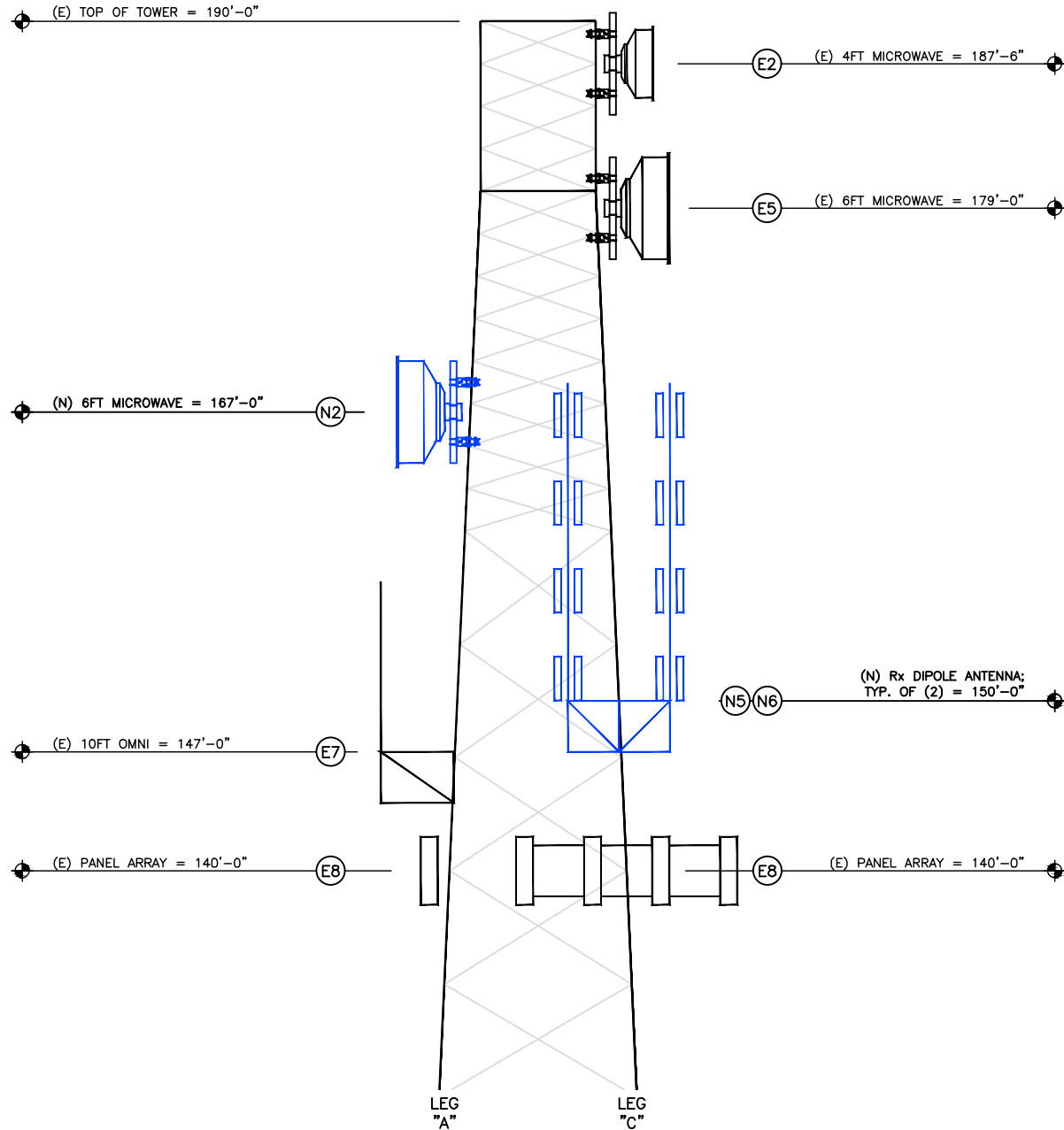
1 SCALE: 1" = 10'

TOWER ELEVATION NOTE:

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Scope of Work Legend

- NEW ITEM
- ITEM TO BE REMOVED/RELOCATED
- EXISTING



**Proposed Secondary Elevation
Face "A-C"**

2 SCALE: 1" = 10'

APPROVAL STAMP

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ENGINEER'S SEAL

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TOWER ELEVATIONS

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ANTENNA INFORMATION												FEEDLINE INFORMATION				FEEDLINE INFORMATION				
ANTENNA ID	MANUFACTURER	MODEL	TYPE	LENGTH	BOTTOM ELEV.	RAD CENTER	TOP ELEV.	MOUNT	LEG	AZIMUTH	QTY.	TYPE	MANUFACTURER	MODEL	SIZE	QTY.	BAND 1	BAND 2	BAND 3	BAND 4
E1	[UNKNOWN]	[UNKNOWN]	BEACON	0.00'	190.00'	190.00'	190.00'	N/A	B	N/A	1	COAX	[UNKNOWN]	[UNK]	1/2"	1				
E2	RADIOWAVES	HPD4-18R8	MICROWAVE	4.00'	185.50'	187.50'	189.50'	PIPE	C	150	1	COAX	[UNKNOWN]	[UNK]	1/2"	1				
E3	[UNKNOWN]	[UNKNOWN]	MICROWAVE	6.00'	184.50'	187.50'	190.50'	PIPE	B	150	1	COAX	[UNKNOWN]	[UNK]	1/2"	1				
E4	RADIOWAVES	HPD4-18R8	MICROWAVE	4.00'	181.00'	183.00'	185.00'	PIPE	B	90	1	COAX	[UNKNOWN]	[UNK]	1/2"	1				
E5	[UNKNOWN]	[UNKNOWN]	MICROWAVE	6.00'	176.00'	179.00'	182.00'	PIPE	C	170	1	COAX	[UNKNOWN]	[UNK]	7/8"	1				
E6	RADIOWAVES	HP2-5.2NS	MICROWAVE	2.00'	169.00'	170.00'	171.00'	PIPE	B	100	1	COAX	[UNKNOWN]	[UNK]	3/8"	1				
N1	COMPROD	295-70	YAGI	3.60'	164.20'	166.00'	167.80'	INCLUDED	B	135°	1	COAX	COMMSCOPE	AVA5-50	7/8"	1				
N2	COMMSCOPE	VHLP6-6W	MW	6.00'	164.00'	167.00'	170.00'	SU4-63	A	326°	1	ELLIPTICAL	RFS FLEXWELL	E65	2"	1	GREEN	BLUE		
N3	COMMSCOPE	VHLP6-11W	MW	6.00'	152.00'	155.00'	157.00'	SU4-63	B/C	148°	1	ELLIPTICAL	RFS FLEXWELL	E105	2"	1	GREEN			
N4	COMMSCOPE	VHLP6-11W	MW	6.00'	152.00'	155.00'	157.00'	SU4-63	B	99°	1	ELLIPTICAL	RFS FLEXWELL	E105	2"	1	GREEN	RED		
N5	RFI	BA160-67-DIN-T3	Rx	18.70'	150.00'	159.35'	168.70'	HS6-K	C	0°	1	COAX	COMMSCOPE	AVA5-50	7/8"	1	BLUE	BLUE		
N6	RFI	BA160-67-DIN-T3	Rx	18.70'	150.00'	159.35'	168.70'	HS6-K	C	0°	1	COAX	COMMSCOPE	AVA5-50	7/8"	1	BLUE	BLUE	RED	
E7	[UNKNOWN]	[UNKNOWN]	OMNI	10.00'	147.00'	152.00'	157.00'	LEG	A	N/A	1	COAX	[UNKNOWN]	[UNK]	3/8"	1				
E8	ERICSSON	AIR 6449 B77D	PANEL	[UNK]	[UNK]	140.00'	[UNK]	SECTOR	A/B/C	320/80/200	3	COAX	[UNKNOWN]	[UNK]	2"	1				
	ERICSSON	LNx-65 I 5DS-AIM	PANEL	[UNK]	[UNK]	140.00'	[UNK]	SECTOR	A/B/C	320/80/200	9	COAX	[UNKNOWN]	[UNK]	1-1/2"	1				
E9	RADIOWAVES	SP3-5.2NS	MICROWAVE	3.00'	111.50'	113.00'	114.50'	PIPE	A	325	1	COAX	[UNKNOWN]	[UNK]	1/4", 3/16"	2				
E10	[UNKNOWN]	[UNKNOWN]	MICROWAVE	2.00'	105.00'	107.00'	109.00'	PIPE	A	300	1	COAX	[UNKNOWN]	[UNK]	5/16"	1				
E11	[UNKNOWN]	[UNKNOWN]	CAMERA	1.00'	86.00'	86.50'	87.00'	PIPE	A	N/A	1	COAX	[UNKNOWN]	[UNK]	1/4"	1				
E12	PCTEL	MSP24013120	PANEL	[UNK]	[UNK]	84.00'	[UNK]	PIPE	A	330	1	COAX	[UNKNOWN]	[UNK]	5/16"	1				
E13	[UNKNOWN]	[UNKNOWN]	CAMERA	1.00'	80.50'	81.00'	81.50'	LEG	B	N/A	2	COAX	[UNKNOWN]	[UNK]	1/4"	2				
E14	[UNKNOWN]	[UNKNOWN]	YAGI	[UNK]	[UNK]	59.00'	[UNK]	PIPE	A	355	1	COAX	[UNKNOWN]	[UNK]	7/8"	1				
E15	[UNKNOWN]	[UNKNOWN]	OMNI	[UNK]	43.00'	45.50'	48.00'	PIPE	A	N/A	1	COAX	[UNKNOWN]	[UNK]	3/16"	1				
E16	[UNKNOWN]	[UNKNOWN]	CAMERA	1.00'	20.50'	21.00'	21.50'	LEG	C	N/A	1	COAX	[UNKNOWN]	[UNK]	3/8"	1				
N7	MOTOROLA	PMUG1017	GPS	INSTALLED BY OTHERS ON SHELTER EXTERIOR WALL							1	COAX	COMMSCOPE	LDF4-50	1/2"	1	WHITE			
N8	MOTOROLA	PMUG1017	GPS	INSTALLED BY OTHERS ON SHELTER EXTERIOR WALL							1	COAX	COMMSCOPE	LDF4-50	1/2"	1	WHITE	WHITE		

E = EXISTING
N = NEW
F = FUTURE

APPROVAL STAMP

GENERAL NOTES:

1. ALL VERTICAL TRANSMISSION LINE RUNS FROM THE ANTENNAS SHALL BE GROUNDED NEAR THE TOP AND BOTTOM OF THE TOWER (BEFORE THE CABLE MAKES HORIZONTAL TRANSITION) AND NEAR ENTRY PORT ON THE SHELTER. ADDITIONAL TRANSMISSION LINE GROUND KITS SHALL BE INSTALLED AS NEEDED TO LIMIT THE DISTANCE BETWEEN GROUND KITS TO 75 FEET.
2. THE CONTRACTOR SHALL CONDUCT A SWEEP TEST ON ALL THE NEWLY INSTALLED TRANSMISSION LINES USING THE MOTOROLA SWEEP PROCESS. RESULTS TO BE SUBMITTED TO MOTOROLA.
3. DRIP LOOPS SHALL BE INCORPORATED IN CABLE RUNS TO PREVENT WATER FROM TRICKLING DOWN THE LINES INTO THE SHELTER.
4. ALL TRANSMISSION LINES SHALL BE MARKED WITH APPROPRIATE COLOR TAPE BANDS (ONE INCH WIDE COLOR TAPE) FOR IDENTIFICATION NEAR THE ANTENNA, JUST BEFORE ENTERING THE SHELTER, AS WELL AS INSIDE THE SHELTER BEFORE CONNECTING TO THE SURGE SUPPRESSORS. SEE EQUIPMENT AND COAXIAL CABLE SCHEDULE FOR COLOR CODING SCHEME.
5. COLOR TAPE BANDS ARE ONLY TEMPORARY. PERMANENT MARKING SHALL BE INSTALLED PER R-56 4"-6" FROM THE FOLLOWING LOCATIONS: NEAR THE ANTENNA, AT THE BOTTOM OF THE TOWER, JUST BEFORE ENTERING THE SHELTER AS WELL AS INSIDE THE SHELTER, AND BEFORE CONNECTING TO THE SURGE SUPPRESSORS.

Scope of Work Legend

- NEW ITEM
- ITEM TO BE REMOVED/RELOCATED
- EXISTING

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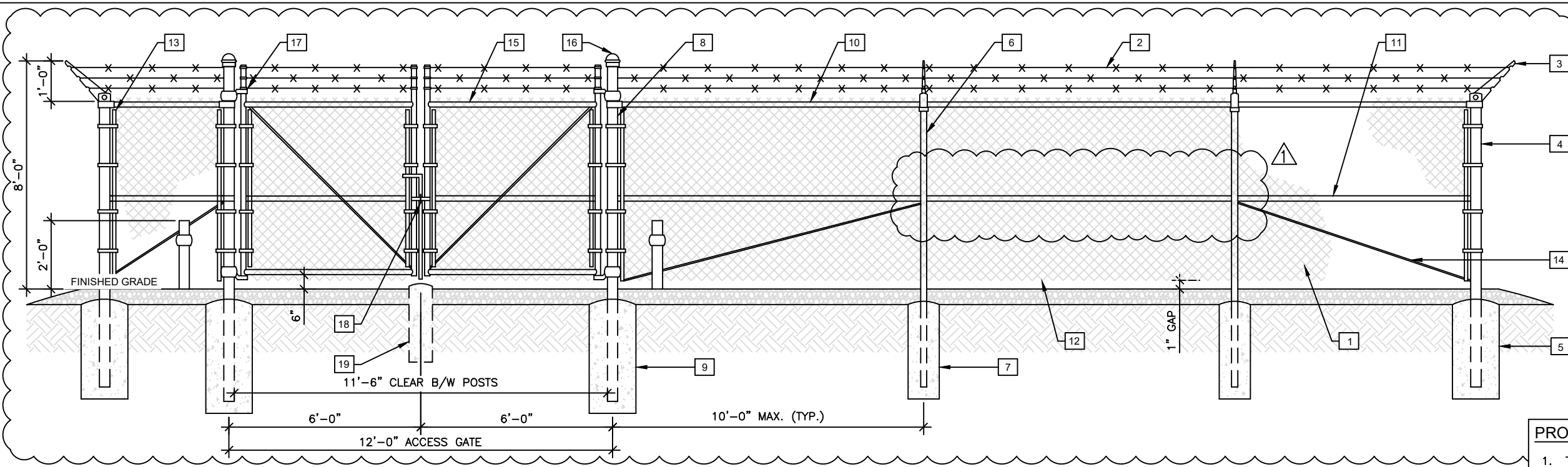
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ANTENNA LOADING INFORMATION
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C-3.3

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1 Typical Fence Elevation NOT TO SCALE

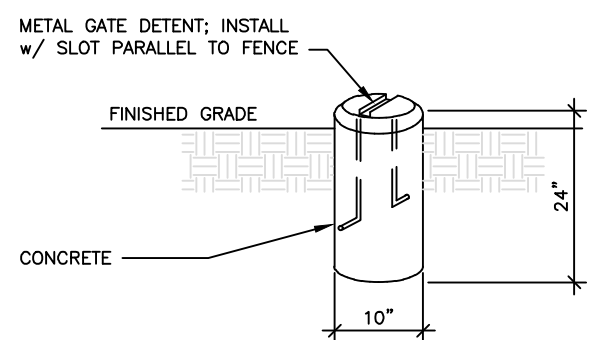
Keynote Legend

- 1 FABRIC: 9 GAUGE, 2" MESH, ASTM A392 (SEE FENCE SECTION FOR HEIGHT).
- 2 BARBED WIRE: 12 GAUGE WIRE, 4 POINT (3 RUNS), FINISH TO MATCH FABRIC, ASTM A121.
- 3 EXTENSION ARMS: STAMPED METAL WITH MALLEABLE IRON BASE, FINISH TO MATCH FENCE AND FRAMEWORK, ASTM F626.
- 4 END AND CORNER POSTS: 3" SCH40 GALVANIZED STEEL PIPE, ASTM F1083.
- 5 CONCRETE FOUNDATION: 12" x 36" DEEP (3000 PSI).
- 6 LINE POSTS: 2" SCH40 GALVANIZED STEEL PIPE, ASTM F1083.
- 7 CONCRETE FOUNDATION: 10" x 36" DEEP (3000 PSI).
- 8 GATE POSTS: 4" SCH40 GALVANIZED STEEL PIPE, ASTM F1083.
- 9 CONCRETE FOUNDATION: 12" x 48" DEEP (3000 PSI).
- 10 TOP RAIL AND BRACE RAIL: 1-1/2" SCH40 GALVANIZED STEEL PIPE, ASTM F1083.
- 11 MIDDLE RAILS: 1-1/2" SCH40 GALVANIZED STEEL PIPE, ASTM F1083.
- 12 BOTTOM TENSION WIRE: 0.177" METALLIC-COATED GALVANIZED STEEL, MARCELLED, ASTM A824.
- 13 TENSION BARS: 3/16" x 3/4", FULL HEIGHT OF FABRIC, FINISH TO MATCH FENCE FRAMEWORK.
- 14 TENSION RODS: 3/8" WITH ADJUSTABLE TIGHTENER, FINISH TO MATCH FENCE FRAMEWORK.
- 15 GATE FRAME: 2" SCH40 GALVANIZED STEEL PIPE, ASTM F1083.
- 16 POST CAPS: PER POST DIAMETER.
- 17 GATE HINGES: NON-LIFT-OFF TYPE, OFFSET TO PERMIT 180 DEGREE SWING.
- 18 DOUBLE GATE LATCH: COMMERCIAL STRONG ARM.
- 19 MUSHROOM STOP SHALL BE A METALLIC SLOTTED DROP RECEIVER PLACED IN THE TOP OF A 10" MIN. DIAMETER PIPE FILLED WITH CONCRETE AND PLACED 24" MIN. INTO THE SOIL.

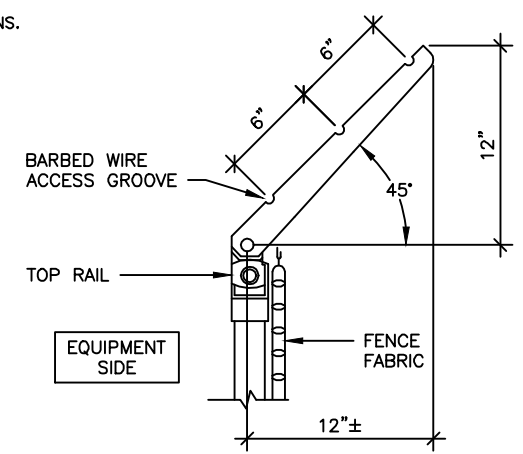
NOTES:

- 1. REFER TO PROJECT SPECIFICATIONS FOR INFORMATION NOT SHOWN IN THE DRAWING.
- 2. FENCE FABRIC SHALL CONFORM TO CHAIN LINK FENCE MANUFACTURERS INSTITUTE (CLFMI) PRODUCT MANUAL.
- 3. INSTALL FENCE IN COMPLIANCE WITH ASTM F 567.
- 4. INSTALL SWING GATES IN COMPLIANCE WITH ASTM F 900.
- 5. DO NOT BEGIN INSTALLATION AND ERECTION BEFORE FINAL GRADING IS COMPLETED, UNLESS OTHERWISE PERMITTED. INSTALL FENCING ON BOUNDARY LINES INSIDE OF PROPERTY LINES ESTABLISHED BY SURVEY.
- 6. DRILL OR HAND-EXCAVATE (USING POST-HOLE DIGGER) HOLES FOR POSTS TO DIAMETERS AND SPACINGS INDICATED, IN FIRM, UNDISTURBED OR COMPACTED SOIL. IF NOT INDICATED ON DRAWINGS, EXCAVATE HOLES FOR EACH POST TO MINIMUM DIAMETER RECOMMENDED BY FENCE MANUFACTURER, BUT NOT LESS THAN FOUR (4) TIMES LARGEST GROSS-SECTION OF POST.
- 7. REMOVE POST HOLE SPOILS FROM SITE. DO NOT SET SPOILS ON AGGREGATE WITHOUT ADEQUATE PROTECTION.
- 8. PROTECT PORTION OF POSTS ABOVE GROUND FROM CONCRETE SPLATTER. PLACE CONCRETE AROUND POSTS AND VIBRATE OR TAMP FOR CONSOLIDATION. CHECK EACH POST FOR VERTICAL AND TOP ALIGNMENT AND HOLD IN POSITION DURING PLACEMENT AND FINISHING OPERATIONS, UNLESS OTHERWISE SHOWN. EXTEND CONCRETE FOOTING ONE (1) INCH ABOVE GRADE AND TROWEL TO A CROWN TO SHED WATER.
- 9. INSTALL BARBED WIRE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- 10. APPLY FABRIC TO OUTSIDE OF FRAMEWORK.

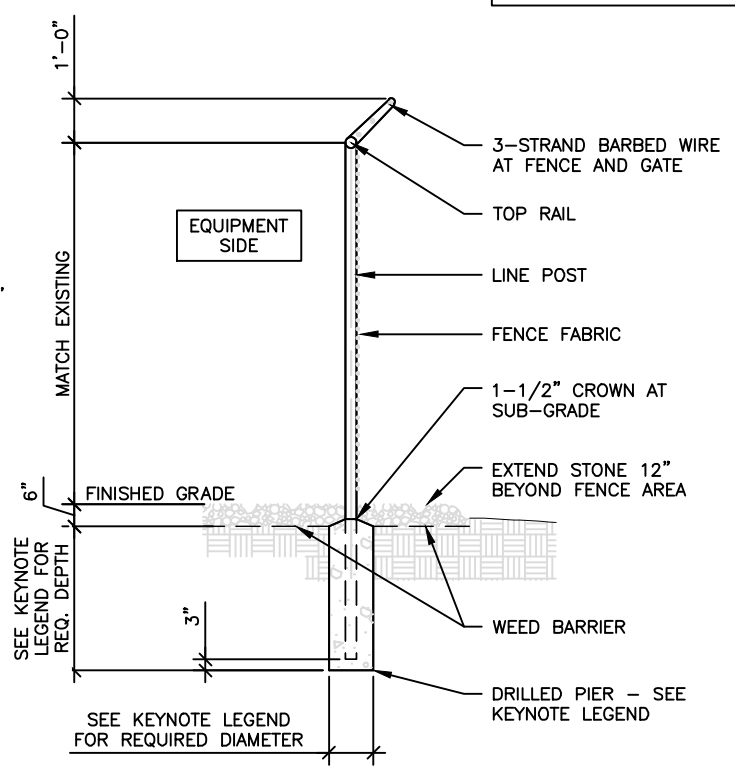
- PROPOSED FENCING NOTES:**
- 1. THIS SITE WILL ONLY REQUIRE A NEW ACCESS GATE.
 - 2. THIS SHEET IS INTENDED TO ACT AS A GUIDE FOR CONTRACTOR IN CONSTRUCTING A NEW ACCESS GATE.
 - 3. THE EXISTING FENCING SHALL REMAIN IN PLACE, EXCEPT THAT WHICH IS PROPOSED TO BE REMOVED TO ACCOMMODATE THE NEW ACCESS GATE.
 - 4. THE NEW ACCESS GATE SHALL MATCH HEIGHT AND APPEARANCE OF THE EXISTING FENCING.



2 Mushroom Stop NOT TO SCALE



3 Barbed Wire Detail NOT TO SCALE



4 Typical Fence Section NOT TO SCALE

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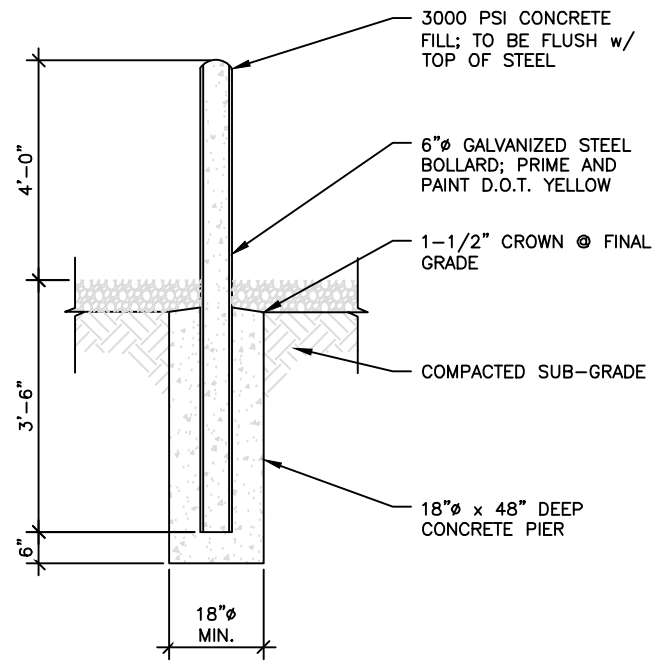
FENCE DETAILS

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C-4

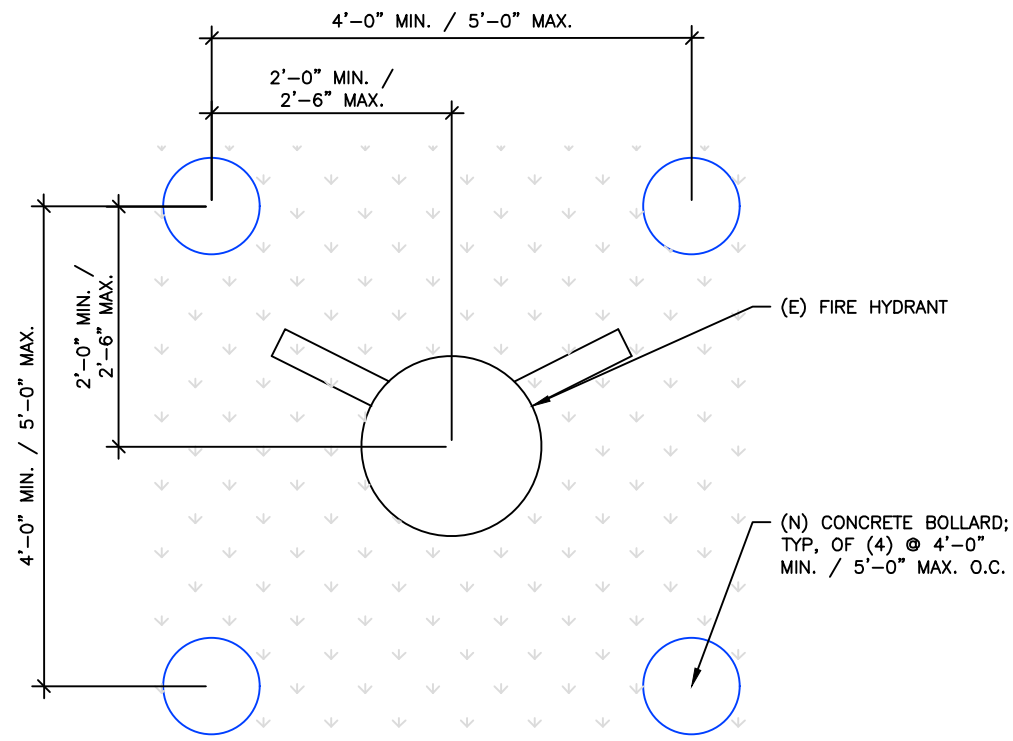
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1 Typical Bollard Detail

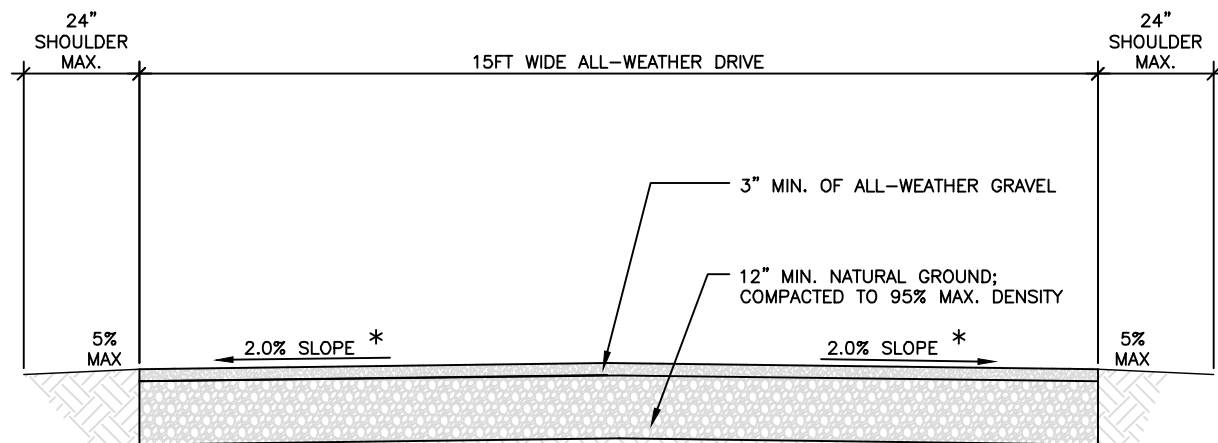
NOT TO SCALE



3 Bollards @ Fire Hydrant Detail

NOT TO SCALE

APPROVAL STAMP



* UNLESS OTHERWISE SPECIFIED IN PLANS

2 All-Weather Drive Section

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KCI
TECHNOLOGIES
4800 FALLS OF NEUSE ROAD
SUITE #200
RALEIGH, NORTH CAROLINA 27609
(919) 783-9214

PYRAMID
Network Services, LLC

MOTOROLA
SOLUTIONS



CIVIL DETAILS

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BA Series

UHF Omnidirectional Dipole Arrays

400 - 520 MHz

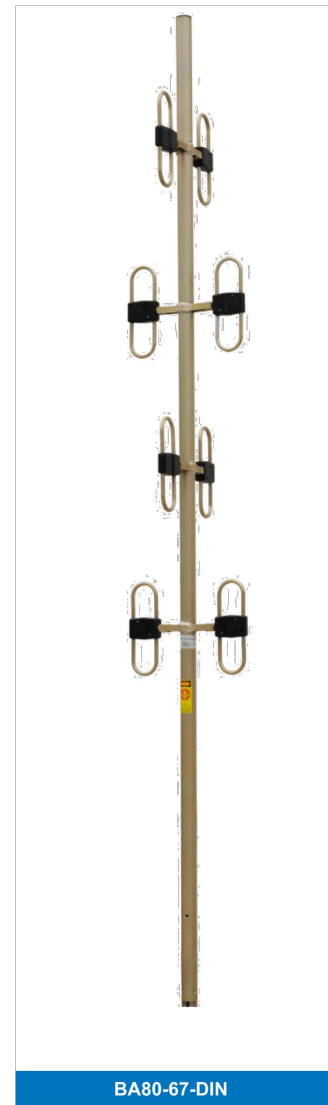


These high performance UHF dipole arrays are ideal for highly populated radio sites requiring long haul omnidirectional coverage. They operate over entire bands and offer gains of 3, 6 or 9dBd (depending on model) exhibiting a VSWR of <1.5:1 across the band.

The arrays utilise an internal phasing harness in PTFE based double screened coaxial cable with polyethylene jacket to aid waterproofing and resist bird attack. The use of a unique phasing arrangement provides extensive side lobe suppression and null fill characteristics. The arrays will accept an input power level of 500 watts continuous, making them ideal for high power multiple transmitter application. The BA80 series are also offered with 3° downtilt, to further enhance close-in coverage characteristics.

These antennas offer industry leading PIM ratings, essential for the latest digital radio systems. All welded alodined aluminum construction and new fabrication techniques in both the harness and dipole sections have proven to minimize intermodulation and noise generated within the antennas. The entire array rests at ground potential and offers the ultimate in lightning resistant antennas.

- Ideal for highly populated sites requiring long haul omnidirectional coverage
- Operate over entire 400-520 MHz band
- 3 dBd, 6 dBd or 9 dBd gain versions available
- Extensive side lobe suppression and null fill
- BA160-67-DIN may be ordered as 2 x 6dBd arrays on one boom assembly. Specify model BA8080-67-DIN. Typical space isolation between arrays is 35dB.
- BA80-67-DIN may be ordered as 2 x 3dBd arrays on one boom assembly. Specify model BA4040-67-DIN. Typical space isolation between arrays is 35dB.
- Industry leading PIM ratings providing low IM and low noise characteristics for optimum performance



BA80-67-DIN



RFI
9329 Ravena Rd.
Suite C
Twinsburg OH 44087 USA
Phone: 330 486 0706
Fax: 330 486 0705

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P-40945-2

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BA Series

UHF Omnidirectional Dipole Arrays

400 - 520 MHz



Electrical Specifications			
Model Number	BA40-67-DIN	BA80-67-DIN	BA160-67-DIN
Nominal Gain dBd	3	6	9
Frequency MHz	400-520		
Tuned Bandwidth	Entire band		
VSWR (Return Loss)	<1.5 :1 (14dB)		
Nominal Impedance Ω	50		
Downtilt	Not offered		0° Std or -3° See note (2)
Vertical Beamwidth	30°	16°	9°
Horizontal Beamwidth	Omni +/-0.5dB		
Input Power (Watts)	500		
Passive IM 3rd order (2x20W) dBc	-150		-140

Mechanical Specifications			
Model Number	BA40-67-DIN	BA80-67-DIN	BA160-67-DIN
Construction & Configuration	4 dipoles (2 bays) Turnstile stacked Single section support	8 dipoles (4 bays) Turnstile stacked Single section support	16 dipoles (8 bays) Turnstile stacked Dual section support External final harness
Length inches	83	118	197
Weight lbs	11	18	44
Shipping Weight lbs	76	84	124
Shipping Dimensions inches	H 17 W 17 L 87	H 17 W 17 L 126	H 17 W 22 L 126
Termination	7/16 DIN female with 20" 9142 cable tail		
Mounting Area	20" x 1.9" diam. aluminum		20" x 2.5" diam. aluminum
Suggested Clamps (not included)	UC12	UC12	UC13
Projected Area ft²	No ice 2.0 With ice 3.2	3.3 5.9	6.5 10.9
Lateral Thrust @ 100mph lbs	49	82	161
Wind Gust Rating mph	No ice 117 With ice 82	149 268	134 104
Torque @100mph ft-lbs	82	268	1045

Model	BA40-67-DIN - H Plane	BA80-67-DIN - H Plane	BA160-67-DIN - H Plane
Diagram			
Model <th>BA40-67-DIN - E Plane</th> <th>BA80-67-DIN - E Plane</th> <th>BA160-67-DIN - E Plane</th>	BA40-67-DIN - E Plane	BA80-67-DIN - E Plane	BA160-67-DIN - E Plane
Diagram			

(1) Single section arrays are rated to -150dBc PIM rating. Dual section (BA160) arrays are rated at -140dBc.
(2) Factory pre-set downtilt of 3° may be specified on BA160-67-DIN antennas by adding -T3 to the part number ordered e.g. BA160-67-DIN-T3
BA160-67-DIN will be shipped in the configuration of 2 arrays (BA8080-67-DIN) along with an external harness PA82-67-DIN. Detailed instruction is provided for field assembly.

RFI
9329 Ravena Rd.
Suite C
Twinsburg OH 44087 USA
Phone: 330 486 0706
Fax: 330 486 0705

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ANTENNA SPECIFICATIONS
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SHAFTER, CA 93263

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BASE STATION ANTENNAS

VHF YAGI ANTENNA

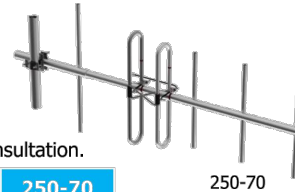
138-174 MHz

290 Series VHF Yagi Antennas



The 290 Series VHF Yagi Antenna are available in 2, 3, and 6 element configurations. All our antennas can be completely customized to your applications. Our antennas can be black anodized, vertically or horizontally polarized, and heavy-duty versions are available. By default, our Yagi antennas are end mounted. But a center mount or an extended boom are also available for certain models.

- Each antenna has a rugged design to withstand harsh environmental conditions.
- The mounting hardware supplied will permit either vertical or horizontal polarization.
- Heavy-duty versions are available. Please contact our Technical Support team for consultation.



Electrical Specifications	291-70	295-70	290-70	250-70
Frequency Range, MHz (in splits)	138-174	138-174	138-174	138-174
Nominal Gain, dBd	3.5	6.5	9.5	7
Number of Elements	2	3	6	6
Bandwidth 2.0:1 VSWR, MHz (Ctr. Freq. %)	36	4%	4%	36
Polarization	Vertical or Horizontal			
Horizontal Beamwidth (Horizontal Pol.)	140°	90°	62°	80°
Vertical Beamwidth (Horizontal Pol.)	70°	61°	50°	60°
Front to Back, dB	15	12	17	25
Pattern	Directional			
Power Rating, Watts	350	350	350	250
Nominal Impedance, Ohms	50	50	50	50
Lightning Protection	DC Ground			
Standard Termination	Type N Male			
Mechanical Specifications	291-70	295-70	290-70	250-70
Length, in (mm)	50 (1270)	60 (1524)	108 (2743)	104 (2642)
Width, in (mm)	40 (1016)	43 (1092)	42 (1067)	42 (1067)
Weight, lbs. (kg)	4.8 (2.2)	6.5 (2.9)	12.0 (5.4)	12.0 (5.4)
Rated Wind Velocity, No Ice, mph (km/h)	150 (241)	145 (223)	120 (177)	110 (177)
Rated Wind Velocity, 0.5" (13mm) ice, mph (km/h)	105 (169)	100 (161)	85 (137)	90 (145)
Lateral Thrust @ 100 mph, wind, lbs. (kg)	29 (13)	39 (18)	65 (29)	95 (43)
Projected Area, ft ² (m ²)	1.1 (0.10)	1.4 (0.13)	2.4 (0.22)	2.6 (0.24)
Mounting Hardware Included	181-85 Clamp	181-85 Clamp	115-85 Clamp	115-85 Clamp



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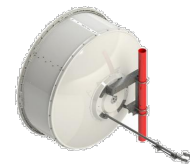
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VHLP6-6W-4WH/B



1.8 m | 6 ft ValuLine® High Performance Low Profile Antenna, single-polarized, 5.925–7.125 GHz, PDR70, white antenna, flexible woven polymer gray radome without flash, standard pack—one-piece reflector

Product Classification

Product Type Microwave antenna
Product Brand ValuLine®

General Specifications

Antenna Type VHLP - ValuLine® High Performance Low Profile Antenna, single-polarized
Polarization Single
Antenna Input PDR70
Antenna Color White
Reflector Construction One-piece reflector
Radome Color Gray
Radome Material Polymer
Flash Included No
Side Struts, Included 1
Side Struts, Optional 1 inboard

Dimensions

Diameter, nominal 1.8 m | 6 ft

Electrical Specifications

Operating Frequency Band 5.925 – 7.125 GHz
Gain, Low Band 38.5 dBi
Gain, Mid Band 39.3 dBi
Gain, Top Band 40.1 dBi
Boresite Cross Polarization Discrimination (XPD) 30 dB
Front-to-Back Ratio 66 dB
Beamwidth, Horizontal 1.8 °

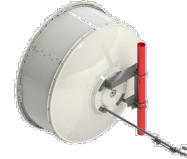
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VHLP6-11W/A

Base Product



1.8 m | 6 ft ValuLine® High Performance Low Profile Antenna, single-polarized, 10.000–11.700 GHz

Product Classification

Product Type Microwave antenna
Product Brand ValuLine®

General Specifications

Antenna Type VHLP - ValuLine® High Performance Low Profile Antenna, single-polarized
Polarization Single
Side Struts, Included 1
Side Struts, Optional 1 inboard

Dimensions

Diameter, nominal 1.8 m | 6 ft

Electrical Specifications

Operating Frequency Band 10.000 – 11.700 GHz
Gain, Low Band 43.2 dBi
Gain, Mid Band 44 dBi
Gain, Top Band 44.8 dBi
Boresite Cross Polarization Discrimination (XPD) 30 dB
Front-to-Back Ratio 70 dB
Beamwidth, Horizontal 1 °
Beamwidth, Vertical 1 °
Return Loss 17.7 dB
VSWR 1.3
Radiation Pattern Envelope Reference (RPE) 7366A
Electrical Compliance Brazil Anatel Class 3 | Canada SRSP 310.5 | Canada SRSP 310.7 Part A | Canada SRSP 310.7 Part B | ETSI 302 217 Class

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EXHIBIT B

CONDITIONAL USE PERMIT NO. 26-160 CONDITIONS OF APPROVAL

1. The owner(s) or project proponent(s) (hereinafter referred to as “Developer”), solely at their cost and expense, shall defend, indemnify, and hold harmless the City of Shafter (hereinafter referred to as “City”), its agents, legislative bodies, officers, and employees regarding any legal or administrative action, claim, or proceeding concerning approval of Conditional Use Permit (“CUP”) No. 26-160 (hereinafter referred to as “CUP No. 26-160”) and/or related actions including, without limitation, actions taken or not taken with respect to the California Environmental Quality Act (hereinafter referred to as “CEQA”); or, at its election and in the alternative, shall relinquish such approval. Developer shall assume the defense of the City in any such legal or administrative action, claim, or proceeding with legal counsel paid for in the entirety by Developer, but subject to the City’s reasonable approvals. Developer shall also reimburse the City, its agents, legislative bodies, officers, and employees for any judgments, amounts paid in settlements, court costs, and attorneys’ fees which the City, its agents, legislative bodies, officers, and employees may be required to pay or otherwise pay because of such action, claim, or proceeding. The City may, at its sole discretion, participate at its own expense in the defense of any such action, claim or proceeding, but such participation shall not relieve Developer’s obligations under these conditions of approval (hereinafter referred to as “Conditions”).
2. Developer, or general contractor, shall submit a list of all contractors and/or subcontractors performing work on this project to the City’s Administrative Services Department and such contractors and subcontractors shall obtain valid business licenses to do business and/or work in the City prior to the commencement of work.
3. Until all portions of the project have been completed, all vacant and undeveloped land within the boundaries of the project area shall be maintained in a weed-free, clean, and orderly manner by Developer. Should said property not be so maintained, City shall notify Developer that the property is to be cleaned within fourteen (14) days of receipt of said notice. If Developer does not comply within the required time frame, City may then clear the land and bill Developer for expenses incurred and Developer shall promptly pay the City for such expenses.
4. Developer shall comply with all provisions of the City’s Zoning Ordinance, Subdivision and Engineering Design Manual, the latest adopted California Building Code, California Mechanical Code, California Plumbing Code, California Electrical Code, California Fire Code, and all other applicable codes, ordinances, regulations, and development standards in effect at the time of issuance of relative permits. Identification of specific sections of any of the City documents does not negate the Developer’s responsibility to conform to unmentioned sections of the City’s Zoning Ordinance, Subdivision and Engineering

Design Manual, California Building Code, and all other applicable ordinances, resolutions, standards, and requirements of the City.

5. Approval of CUP No. 26-160 shall not vest until all Conditions are met. If within one year after the approval by the City, the development has not been initiated, the procedures and actions which have taken place up to that time shall be null and void and the development project shall be subject to the processing of new permits if it is the Developer's intent to proceed with construction unless Developer applies for and receives approval of an extension of time from the City Planning Commission. One extension of time, not to exceed one additional year, may be granted by the Planning Department not less than 30 days prior to the date of expiration. PLEASE NOTE: This will be the only notice given for the above specific expiration date. The Developer is responsible for initiating an extension request.
6. Construction of the development identified as CUP No. 26-160 shall be in substantial accordance with all City approved submittals to the City by Developer, including, but not limited to all Conditions of CUP No. 26-160 and Exhibit "A" (Site Plan) except as otherwise set forth in these conditions of approval.
7. The Developer shall supply verification to City staff of the proposed facility's compliance with all applicable requirements of the American National Standards Institute (ANSI) and Institute of Electrical and Electronics Engineers (IEEE).
8. The Developer shall supply verification of compliance with all applicable requirements of the Federal Aviation Administration (FAA).
9. If prescribed by the City or another approving agency, such as the FAA, safety lights shall be required.
10. The proposed facility shall be designed to co-locate with other carriers. If co-location is not possible, then Developer shall submit evidence prior to construction of the facility. Any changes to the facility to provide for co-location not considered in this CUP shall require the developer to apply to the City for a change of conditions.
11. Where an equipped building accompanies the support structure, it shall be designed, colored, and textured to match adjacent architecture or to blend in with surrounding development, as approved by the Planning Director or his designee.
12. All new utilities shall be underground service.
13. The Developer is responsible for maintaining the facility in an appropriate manner consistent with the original approval of this CUP. Should the use be replaced or discontinued for a period of six months, the approval will lapse, and the developer shall remove the facility from the project site and shall repair any damage to the premises or

other land caused by such removal. Upon removal of the facility, the Developer shall restore the premises or other land affected by such removal to its original condition.

14. No new construction, or improvements to the property, shall be permitted without first obtaining the proper permits from Planning, Building, and Engineering Departments of the City.
15. The property and any proposed building(s), as well as any architectural features, shall be kept free of graffiti and shall be maintained in a clean and orderly manner.
16. The project shall comply with the lighting standards for non-residential development per Section 10.140 of the Shafter Zoning Ordinance.
17. Unless otherwise stated, all Conditions shall be completed prior to a final inspection and prior issuance of an occupancy permit.
18. CUP No. 26-160 shall not become effective for any purpose unless an "Acceptance of Conditions" form has been signed by the Developer and returned to the Planning Department.
19. Developer shall remove and replace any existing public or private improvements that may become damaged during any phase of construction, as required by the City Engineer.
20. Any contractor working within the public right-of-way shall obtain an encroachment permit from the City Engineer prior to commencing any such work.
21. Developer shall relocate and/or install all necessary infrastructure to provide utilities to the proposed project.
22. Easements to be given to the City or any other public utility agency for, sewer, water, storm drain, electrical, or any other utility or similar purpose shall not cross private property without prior approval of the City Engineer.
23. Any above-ground utility cabinets or facilities to be located within the road right-of-way or public utility easement shall be permitted only upon approval by the City Engineer. Such approval will be made in writing, upon written request of the Developer and/or the affected utility company.
24. Any obstructions including utilities, irrigation lines, etc., shall be removed and/or relocated, if necessary, at the expense of the Developer.
25. No final inspection shall be approved until all required improvements have been completed by the Developer and accepted by the City.

26. Prior to the issuance of any Occupancy Permit, all public improvements (street, sewer, water) shall be constructed and approved by the City Engineer and ready for final acceptance.
27. Walls along property line between commercial and residential shall not create an eyesore for the residential owner.
28. Prior to review of any required improvement plans, a grading plan shall be submitted to and approved by the City Engineer.
29. ADA standards shall be adhered to.
30. Developer shall submit detailed drawings for all existing and proposed utility connections to the City Engineer for review and approval prior to issuance of a building permit. No permanent structures shall be constructed over proposed or existing utility easements.
31. During construction, the Developer shall maintain the project, including the adjacent streets in a dust free condition. This condition always applies including weekends, evenings, and nighttime hours. During construction operations, cleanup of soil from public roadways shall be required, if deemed necessary, by the City Engineer.
32. All utilities proposed under paving shall be installed prior to paving. Cover over utilities shall be a depth as approved by the City Engineer.
33. Prior to issuance of any Occupancy Permit, an address shall be permanently installed and clearly visible from the street in a manner approved by the Planning Director.
34. All conditions of the Kern County Fire Department shall be met prior to occupancy of the building. If no conditions are required, a letter so stating shall be submitted to the City Building Department.
35. Prior to the issuance of any Occupancy Permit, the Developer shall replace the existing commercial drive approach along Fanucchi Way with an Americans with Disabilities Act (ADA) compliant approach, and the dimensions of the drive approach will be in conformance with S-13A of the Shafter Engineering Design Manual.
36. Prior to the issuance of any Occupancy Permit, the Developer shall be required to pave, with asphalt at a minimum (2 inches of AC over 4 inches of AB over 12 inches compacted subgrade section), from the new commercial drive approach to the proposed east gate. The new road segment shall include an additional pavement beyond the access to the site to allow a vehicle with an aerial work platform or boom lift the ability to backout of the gate and turn around and leave the site.

37. Prior to the issuance of any Occupancy Permit, the Developer will be required to place bollards around the existing fire hydrant along Fanucchi Way and utility poles along the eastern perimeter of APN 091-261-16.
38. Prior to the issuance of any Occupancy Permit, the Developer shall enter into a lease agreement with the City of Shafter for use of the site.
39. Prior to the issuance of a building permit, the Developer shall revise the site plans shown in Exhibit "A" to ensure that the gate is installed in the corner/end of the fence line, which is not depicted on page C-4 but drawn correctly on page C-2.
40. The Developer shall be responsible for ensuring that all stormwater runoff generated by, or affected by, the proposed improvements is fully retained on-site in the adjacent basin or other approved method as approved by the City Engineer. All retention facilities shall be designed in accordance with the applicable standards and be subject to the review and approval of the City Engineer and/or the City of Shafter Building Department.

DATE: May 12, 2026
TO: Planning Commission
FROM: Planning Department
SUBJECT: Tentative Tract Map No. 7461 Amendment of Conditions

RECOMMENDATION:

Commission conduct a public hearing; and adopt Resolution No. 26-485, a Resolution of the Planning Commission of the City of Shafter, recommending the City Council find the action has already complied with the California Environmental Quality Act, and approve an amendment of conditions of approval for Tentative Tract Map No. 7461, located at the northwest corner of the intersection of 7th Standard Road and the future Lake Road within the Mission Lakes Specific Plan area.

APPLICANT

Lennar Homes of California, LLC
5 River Park Place East, Suite 210
Fresno, CA 93720

OWNER

Lennar Homes of California, LLC
5 River Park Place East, Suite 210
Fresno, CA 93720

LOCATION: The project site is located at the northwest corner of the intersection of 7th Standard Road and the future Lake Road, within the Mission Lakes Specific Plan area.

Tentative Tract Map (TTM) No. 7461 was approved by the Shafter City Council on January 07, 2025, pursuant to Resolution No. 3005. Now the applicant has submitted a request to change the compliance timing triggers for several conditions and make other minor revisions that will eliminate redundancy and provide clarity. Most of the conditions being revised are related to the completion of the public parks within the development. The parks in the tract fall within the jurisdiction of North of the River Recreation & Parks District (NOR) and are required to be dedicated/deeded to NOR. Therefore, NOR was given an opportunity to review the subdivision design and provide conditions of approval related to the development of the proposed park sites. The conditions relevant to NOR are shown in Exhibit B of Resolution No, 3005 as conditions of approval #18 and #159 through 165.

The applicant has requested that the timing for compliance with NOR requirements be changed to afford more time for the Condition to be completed while allowing the owner to continue to develop the tract. It's important to note that the proposed revisions will not absolve Lennar Homes of complying with any of the conditions but rather they provide additional time to obtain compliance. Lennar Homes will still be fully responsible for developing the parks and surrounding public improvements at their own expense.

Several conditions require satisfaction prior to the recordation of a final map for 7461. However, Lennar is about ready to record a final map, and the process to secure covenants and other items is taking more time than previously anticipated. Lennar's

PUBLIC HEARING

request is to defer these items.

All the amendments can be found in **Exhibit A of Exhibit 1** in ~~striketrough~~ / underline format. If the Planning Commission and City Council approve, the tracked changes will be accepted on the master Word document. The affected conditions of approval are the existing #18, 26, 35, 156, 157, 159, 160, 162, and 163. A summary of the change to each condition is listed below.

- Condition #18: changes compliance deadline from prior to final map recording to prior to receiving 60% occupancy
- Condition #26: removes the requirement to receive approval from City of Bakersfield on the final map, since their signature may be omitted pursuant to SMA section 66436
- Condition #35: updated to comply with Senate Bill 937
- Condition #156: removed requirement to record covenant regarding proximity of certain lots to existing plugged wells, since a general note is already shown on the title sheet of the final map which addresses the same.
- Condition #157: updated language for clarity
- Condition #159: changes compliance deadline from prior to final map recording to prior to receiving 60% occupancy
- Condition #160: changes compliance deadline from prior to final map recording to prior to receiving 60% occupancy
- Condition #162: instead of requiring a covenant to be recorded prior to final map recording, a disclosure notice will be shown on the face of the final map which will address the same issue
- Condition #163: condition removed due to redundancy

Pursuant to Title 16 Section 4.80.C, modification of a tentative map after approval or conditional approval shall not extend the time limits imposed by the Shafter Subdivision Ordinance. The tentative map approval for tract 7461 is still set to expire on January 07, 2027.

CEQA:

The project is exempt from the California Environmental Quality Act, i.e., exempt from the requirements of Division 13 (commencing with Section 21000) of the Public Resources Code, pursuant to California Government Code 65457. The project is within the scope of the Program Environmental Impact Report (EIR) that was certified for the Mission Lakes Specific Plan in 2005 (SCH No. 2004101029) pursuant to Resolution No. 05-1738. The certified Program EIR adequately describes the activity of the residential development to be governed by this Tentative Tract Map No. 7461 Amendment of Conditions and is consistent with the Mission Lakes Specific Plan and approved alteration thereof.

FINDINGS:

1. All required public notices have been given. Hearing notices regarding the proposed project were mailed to property owners within 300 feet of the project area, and published in a local newspaper of general circulation at least 10 days prior to the hearing.
2. The Planning Commission finds that the requested amendment of conditions is consistent with the goals, policies, and objectives of the Shafter General Plan and Mission Lakes Specific Plan and is consistent with the applicable development policies and standards of the City.
3. The Planning Commission finds the requested amendment of conditions would not impair the integrity and character of the Shafter General Plan or Mission Lakes Specific Plan.
4. The Planning Commission finds that the requested amendment of conditions does not alter the subdivision design or improvements, so the design and improvements are consistent with the General Plan and the Mission Lakes Specific Plan.
5. The Planning Commission finds that the requested amendment of conditions does not impair the ability of the subdivision design to provide, to the extent feasible, for future passive or natural heating or cooling opportunities within the subdivision.
6. The Planning Commission finds that the requested amendment of conditions does not alter the site. The site remains physically suitable for the proposed type and density of development.
7. The Planning Commission finds that the requested amendment of conditions is not likely to cause substantial environmental damage or substantially injure fish or wildlife or their habitat.
8. The Planning Commission finds that the requested amendment of conditions is not likely to adversely affect public health, safety, or general welfare. The development remains compatible with surrounding properties and will not create any public nuisance.
9. The Planning Commission finds that the requested amendment of conditions will not conflict with easements acquired by the public at large, for access through or use of property within Tract 7461.
10. The Planning Commission finds the requested amendment of conditions does not affect the discharge of waste from the proposed subdivision into the existing sewer system and will not result in a violation of existing requirements prescribed by the Regional Water Quality Control Board.
11. The Planning Commission finds that the requested amendment of conditions will not result in any change to water, sanitation, public utilities and services. Adequate provisions of urban services remain, to ensure public health and safety.
12. The Planning Commission finds that the City of Shafter certified a Program Environmental Impact Report for the 2005 General Plan Update and related actions (SCH No. 2004101029) including the Mission Lakes Specific Plan (Resolution No. 05-1738) and that no additional CEQA analysis or documentation is required to amend the conditions of Tentative Tract Map No. 7461.

ATTACHMENTS

Resolution No. 26-485

EXHIBIT

1

RESOLUTION NO. 26-485

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SHAFTER
RECOMMENDING THE CITY COUNCIL FIND THE ACTION HAS ALREADY
COMPLIED WITH THE CALIFORNIA ENVIRONMENTAL QUALITY ACT AND
APPROVE AN AMENDMENT OF CONDITIONS OF APPROVAL FOR TENTATIVE
TRACT MAP NO. 7461**

WHEREAS, the Planning Commission has, at its regularly scheduled meeting on May 12, 2026, studied and considered the proposed request for an amendment to the conditions of approval for Tentative Tract Map No. 7461 (the “Project”); and

WHEREAS, on January 07, 2025, the City Council approved Tentative Tract No. 7461 pursuant to Resolution No. 3005 for a 281-lot residential subdivision, subject to 171 conditions of approval; and

WHEREAS, Lennar Homes of California, Inc. (“Developer”) has requested an amendment to the conditions of approval, and said changes are shown in Exhibit “A”; and

WHEREAS, a timely and properly noticed public hearing for the Project was held by the Planning Commission of the City of Shafter at a regular meeting on May 12, 2026, at which hearing evidence, oral and documentary, was admitted on behalf of said Project; and

WHEREAS, the Planning Commission finds that the Project is consistent with the goals, policies, and objectives of the Shafter General Plan and the Mission Lakes Specific Plan, and is consistent with the applicable development policies and standards of the City; and

WHEREAS, the Planning Commission finds that the Project will not impair the integrity and character of the City of Shafter General Plan or Mission Lakes Specific Plan; and

WHEREAS, the Planning Commission finds that the Project will not alter the subdivision design or improvements, so the design and improvements are consistent with the General Plan and the Mission Lakes Specific Plan; and

WHEREAS, the Planning Commission finds that the Project will not impair the ability of the subdivision design to provide, to the extent feasible, for future passive or natural heating or cooling opportunities within the subdivision; and

WHEREAS, the Planning Commission finds that the Project will not alter the site. The site remains physically suitable for the proposed type and density of development; and

WHEREAS, the Planning Commission finds that the Project is not likely to cause substantial environmental damage or substantially injure fish or wildlife or their habitat; and

WHEREAS, the Planning Commission finds that the Project will not conflict with easements acquired by the public at large, for access through or use of property within Tract 7461; and

WHEREAS, the Planning Commission finds that the Project will not affect the discharge of waste from the proposed subdivision into the existing sewer system and will not result in a violation of existing requirements prescribed by the Regional Water Quality Control Board; and

WHEREAS, the Planning Commission finds that the Project will not result in any change to the provision for water, sanitation, public utilities, and services to ensure public health and safety; and

WHEREAS, the Project will not be detrimental to the public health, safety, or general welfare, or materially injurious to properties and improvements in vicinity of the Project site; and

WHEREAS, the Planning Commission finds that the City of Shafter certified a Program Environmental Impact Report for the Mission Lakes Specific Plan in 2005 (SCH No. 2004101029) pursuant to Resolution No. 05-1738 and that no additional CEQA analysis or documentation is required for the Project; and

WHEREAS, the Planning Commission has determined that the provisions of CEQA and the State CEQA Guidelines have been followed; and

WHEREAS, the City of Shafter Planning Department (336 Pacific Avenue, Shafter, California) is the custodian of all documents and other materials upon which the environmental determination is based.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Shafter, in a regular session assembled on the 12th day of May 2026, resolved to recommend the Shafter City Council find the action has already complied with CEQA and approve an amendment of conditions of approval for Tentative Tract Map No. 7461, located at the northwest corner of the intersection of 7th Standard Road and the future Lake Road, as shown in Exhibit "A" to Resolution No. 26-485.

PASSED AND ADOPTED THIS 12th DAY OF MAY, 2026.

Lovedeep Joshan, Chairman

ATTEST

Yazmina Pallares, City Clerk

EXHIBIT "A"

AMENDED CONDITIONS OF APPROVAL TENTATIVE TRACT NO. 7461

GENERAL

1. The owner(s), project proponent(s), and/or applicant(s) (hereinafter referred to as "Developer"), solely at their cost and expense, shall defend, indemnify and hold harmless the City of Shafter (hereinafter referred to as "City"), its agents, legislative bodies, officers and employees regarding any legal or administrative action, claim or proceeding concerning approval of Tentative Tract No. 7461 and/or related actions including, without limitation, actions taken or not taken with respect to the California Environmental Quality Act (hereinafter referred to as "CEQA"); or, at its election and in the alternative, shall relinquish such approval. Developer shall assume the defense of the City in any such legal or administrative action, claim or proceeding with legal counsel paid for in the entirety by Developer, but subject to the City's reasonable approvals. Developer shall also reimburse the City, its agents, legislative bodies, officers and employees for any judgments, amounts paid in settlements, court costs and attorneys' fees which the City, its agents, legislative bodies, officers and employees may be required to pay or otherwise pay because of such action, claim, or proceeding. The City may, at its sole discretion, participate at its own expense in the defense of any such action, claim or proceeding, but such participation shall not relieve Developer's obligations under these conditions of approval (hereinafter referred to as "Conditions").
2. The Developer or the Developer's engineer shall submit a list of all contractors and/or subcontractors performing work on this project to the City Administrative Services Department and such contractors and subcontractors shall obtain valid business licenses to do business and/or work in the City of Shafter.
3. The following disclosure shall be given as part of transfer of properties: "All your real property is near property used for agricultural operations, you may be subject to inconveniences or discomforts arising from such operations on any 24-hour basis. Said discomforts may include, but not be limited to equipment noises, odors from manure or other chemicals, and dust or smoke. The City has determined that the use of real property for agricultural operations is a high priority and favored use to the City and Kern County and will not be considered a nuisance for those inconveniences or discomforts arising from agricultural operations, provided such operations are consistent with accepted customs, standards, and laws."
4. Until all portions of the tentative tract have been developed, all vacant and undeveloped land, not being actively farmed, shall be maintained in a weed-free and clean manner by the Developer. Should said property not be so maintained, the City shall notify the property owner that the property is to be cleaned within thirty (30) days of receipt of said notice. If the property owner does not comply within the required time frame, City may then clear the land and bill the property owner for expenses incurred.

5. Unless a final map is recorded, this tentative tract shall expire twenty-four (24) months from the date of approval by the City Council, unless an extension is granted by the City Council. Should an extension be requested, Developer, not less than sixty (60) days prior to the expiration date, shall submit to the City, the applicable processing fees and a completed application requesting an extension of the map approval in accordance with the provisions of City Code and the Subdivision Map Act. PLEASE NOTE: This will be the only notice given for the above specific expiration date. The applicant is responsible for initiating an extension request.
6. All construction and development shall be consistent with the City of Shafter Mission Lakes Specific Plan and Tentative Tract No. 7461.

PLANNING

7. Prior to initiating any grading or earthmoving within Tract No. 7461, the Developer shall provide the City of Shafter Planning Department with written confirmation from the San Joaquin Valley Air Pollution Control District (SJVAPCD) that the proposed development follows the requirements of the District's Rule 9510.
8. The Developer shall be required to permanently maintain all landscaping, except for landscaping included in the Community Facilities District, including the replacement of any trees or shrubs that do not survive.
9. Approved street names are as follows: Artesia Lane, Tidewater Way, Salmon Drive, Trout Lane, Badger Lane, Darwin Drive, Pigeon Drive, Oxbow Way, Fisher Lane, Shoreview Drive, Tadpole Lane, Mallard Landing Lane, Water View Drive, Peninsula Lane, South Lake Drive, Sandridge Lane, Mariner Drive, Angler Drive, Quickwater Lane, Klamath Lane, Rocky River Lane, Yosemite Drive, Mission Lake Boulevard, and Lake Road.
10. Only the street names or alternate street names that have been approved on the attached Tentative Tract Map shall be shown on the Final Map(s) for Tract No. 7461. If the Developer wishes to change the street names at any point in time, a street name change request will need to be submitted to the Shafter Planning Department and approved prior to changing or using any proposed street names.
11. If at any point the Developer wishes to phase the map or make any changes to the approved tentative map contents, the Developer shall submit a Substantial Conformance application to the Planning Director for review and approval.
12. Approved access shall be provided for each lot in accordance with City standards.
13. All roof-mounted air conditioning equipment shall be located on the rear portion of the roof ridge line in such a manner as to be screened as much as practical from view from public streets.
14. With the exception of model houses, as provided in Section 3.080, Chapter 3, Title 16 (Subdivision Ordinance) of the Shafter Municipal Code, no building permit shall be issued by the City of Shafter until Tract No. 7461 has been recorded pursuant to the requirements

of Title 16 (Subdivision Ordinance) and Title 17 (Zoning Ordinance) of the Shafter Municipal Code.

15. If Condition No. 153 is initiated by the Developer and executed by the City of Shafter, no building permit shall be issued until wet utilities have been installed, an all-weather surface roadway is completed on the subject property, and survey stakes or other form of temporary documentation will be provided for, and approved by the Building and Safety Inspector, to verify building location. Missing stakes or other temporary documentation will result in delays in inspection schedule.
16. The following note shall appear on the final map and all grading and construction plans:
 - a. If during grading or construction, any plugged, abandoned, or unrecorded oil or gas wells are uncovered or damaged, the California Department of Conservation/Geologic Energy Management Division (CalGEM) shall be contacted to inspect and approve any remediation required.
 - b. If any abandoned water wells are located within the development or discovered during excavation or grading, the Kern County Public Health Department - Environmental Health Services Program must be contacted to obtain information for the proper permitting and destruction procedures.
 - c. Building setbacks on lots with existing plugged wells shall satisfy the requirements of the CalGEM. If the recommended setbacks cannot be satisfied, the Developer shall submit, concurrent with the submittal for a building permit for the impacted lot, written confirmation from the CalGEM that the setback provided is acceptable.
17. During grading operations, all activity shall be restricted to periods of low wind to reduce dust emissions. Verification of compliance will be the responsibility of the City of Shafter Building Inspection Division.
18. Prior to construction, the Developer shall submit plans for the public park to be developed on Lot A, approved under Tentative Tract No. 7461. The public park design shall be approved by the City of Shafter in consultation with the North of the River Recreation and Park District. The public park shall be fully constructed, landscaped, and completed, consistent with the Mission Lakes Specific Plan, prior to [60% occupancy recordation of the final map](#) or shall be included as a public improvement in the subdivision improvement agreement. The public park shall be dedicated/deeded to the North of the River Recreation and Park District upon completion and acceptance of all improvements by the City of Shafter.

As an alternative to dedication and transfer of ownership of the public park to the North of the River Recreation and Park District, and subject to authority granted in state law, Developer may request the City consider alternative arrangements for the dedication and transfer of the public park, as authorized by state law, either to the City of Shafter or a combination of the City of Shafter and the North of the River Recreation and Park District. Such alternative arrangements shall be memorialized in an agreement approved by the City of Shafter and the North of the River Recreation and Park District, prior to acceptance of all

improvements by the City of Shafter (except for the issuance of a certificate of occupancy for model homes). Nothing contained herein shall obligate the City or the North of the River Recreation and Park District to accept such alternative dedication and transfer

19. The Developer of Tract No. 7461 shall comply with all SJVAPCD requirements while grading and developing the site. It is the Developer's responsibility to contact the SJVAPCD to determine with which requirements/rules the Developer must comply.
20. Prior to recordation of Tract Map No. 7461, the Developer shall enter into a development agreement with the City of Shafter, in a form and substance reasonably approved and required by the City, which shall provide for a minimum square footage of residential units within the subdivision, and which shall provide for payment of park fees, traffic fees and/or other fees established by the City.
21. All utilities shall be designed and constructed in such a way as to allow for them to be extended into any future residential development areas.
22. The Natural Trail along the south and east boundaries of the map shall be planted with a combination of evergreen and deciduous trees at a density sufficient to provide a year-round visual buffer. Tree species and spacing shall be approved by the City as part of the approval of the landscape plan for the Natural Trail.
23. The drive approaches on the following lots shall be installed as specified:
 - a. Lot 1 – west side of lot on Salmon Drive
 - b. Lot 15 & 50 – north side of lot on Trout Lane
 - c. Lot 32 – south side of lot on Badger Lane
 - d. Lot 43 – east side of lot on Salmon Drive
 - e. Lot 44 – south side of lot on Trout Lane
 - f. Lot 51 & 65 – north side of lot on Artesia Lane
 - g. Lot 57 & 58 – south side of lot on Artesia Lane
 - h. Lot 33 & 84 – north side of lot on Badger Lane
 - i. Lot 91 – south side of lot on Badger Lane
 - j. Lot 92 – west side of lot on Shoreview Drive
 - k. Lot 105 & Lot 155 – north side of lot on Fisher Lane
 - l. Lot 106 & Lot 151 – south side of lot on Fisher Lane
 - m. Lot 150 – east side of lot on Shoreview Drive
 - n. Lot 151 & Lot 156 – south side of lot on Fisher Lane
 - o. Lot 172 & Lot 177 – south side of lot on Tadpole Lane
 - p. Lot 173 – north side of lot Tadpole Lane
 - q. Lot 183 & Lot 186 – south side of lot on Mallard Landing Lane
 - r. Lot 184 – north side of lot on Mallard Landing Lane
 - s. Lot 139, Lot 187 & Lot 190 – south side of lot on Sandridge Lane
 - t. Lot 140 & Lot 189 – north side of lot on Sandridge Lane
 - u. Lot 242 & Lot 243 – south side of lot on Klamath Lane
 - v. Lot 226, Lot 254 & Lot 255 – south side of lot on Quickwater Lane
 - w. Lot 202 & Lot 228 – north side of lot on Quickwater Lane
 - x. Lot 225 – east side of lot on Mariner Drive

- y. Lot 223 – west side of lot on Mariner Drive
- z. Lot 222 – south side of lot on Rocky River Lane
- aa. Lot 218, Lot 219, & Lot 236 – north side of lot on Rocky River Lane
- bb. Lot 229 – east side of lot on Angler Drive
- cc. Lot 230 – west side of lot on Angler Drive
- dd. Lot 231 & Lot 281 – south side of lot on Rocky River Lane
- ee. Lot 16 & Lot 66 – east side of lot on Pigeon Drive
- ff. Lot 74 – west side of lot on Pigeon Drive
- gg. Lot 75 – west side of lot on Darwin Drive
- hh. Lot 83 – east side of lot on Darwin Drive
- ii. Lot 159 – north side of lot on Fisher Lane
- jj. Lot 160 & Lot 201 – east side of lot on South Lake Drive
- kk. Lot 166 – west side of lot on South Lake Drive
- ll. Lot 167 – west side of lot on Water View Drive
- mm. Lot 178 – east side of lot Water View Drive
- nn. Lot 194 – north side of lot on Sandridge Lane
- oo. Lot 195 – west side of lot on South Lake Drive
- pp. Lot 237 & Lot 248 – north side of lot on Klamath Lane
- qq. Lot 249 – north side of lot on Quickwater Lane

24. If during development activities, any wells are encountered, the property owner is expected to immediately notify the CalGEM construction site well review engineer in the Inland district office, and file for Division review an amended site plan with well casing diagrams.
25. On all corner lots and/or reverse corner lots within the tract, fences/walls shall not be located within the first 5 feet of the Public Utility Easement behind the street side yard and front-yard property lines. A note stating this must be included on all site plans during building permit review. The City will not permit walls nor fences to be built within the first five (5) feet of the PUE dedication on the side-yard of corner/reverse corner lots.
26. The Final Map for Tract No. 7461 must be submitted to the City of Bakersfield for review, ~~and approval by the City Surveyor and City Engineer. The Final Map must include their respective signature and seal.~~
27. The City of Bakersfield Recreation and Parks Department must be contacted for any necessary landscape improvements within the existing median island located on 7th Standard Road. Contact: Fidel Gonzalez, 661-326-3268 or fgonzalez@bakersfieldcity.us.
28. No permanent structure shall be built within a 10-foot radius of any existing wells as shown on the approved Tentative Tract Map No. 7461.
29. The design of all houses proposed to be built by the Developer/Home Builder(s) within Tract 7461 must be in substantial conformance with the Mission Lakes Specific Plan Chapter 5: Design Guidelines.
30. The Developer/Home Builder of Tract 7461 shall use a variety of floor plans within the residential tract as required in the City of Shafter Zoning Ordinance Table 2.B (Residential Floor Plan and Elevations Guidelines). Floor plans and elevations will be subject to the

review and approval of the Shafter Planning and Building Departments. The Developer/Home Builder shall plot alternative floor plan types and/or elevation styles on contiguous lots within Tract 7461.

BUILDING

31. Prior to issuing a certificate of occupancy for any building, the building address(es) shall be permanently installed and be clearly visible from the street.
32. The Developer shall obtain a letter from Kern County Fire Department stating Kern County Fire's approval of construction of 199 dwelling units without a secondary access. A copy of this letter shall be provided to the Building Department prior to the recording of the Final Map.
33. Prior to issuance of the first building permit, the Developer shall provide written confirmation from the SJVAPCD confirming that any and all applicable off-site mitigation fees for the subdivision have been paid in full.
34. No final inspection or issuance of a certificate of occupancy shall be approved for any lot until all required improvements have been completed by the Developer and accepted by the City.
35. Developer shall pay all development fees and impact fees adopted by the City in effect at the time of issuance of any ~~building permits~~Certificate of Occupancy. The Developer can also elect to pay ~~traffic-~~development and impact fees at the time of each building permit's issuance.
36. Developer shall comply with the latest California Building Code, California Mechanical Code, California Plumbing Code, California Electrical Code, California Fire Code and all other applicable codes, ordinances, regulations, and development standards in effect at the time of issuance of relative permits.
37. Prior to issuance of each building permit for houses within Tract No. 7461, Developer shall submit a site plan to the City Planning Department for review and approval. The site plan shall reference the floor plan layout and building elevations, including exterior building materials and colors, for each of the single-family residences to be constructed within Tract No. 7461. The siting of each structure on the plans must comply with the applicable lot development standards of the latest Mission Lakes Specific Plan.
38. Private drives constructed of Portland cement concrete shall be constructed at a minimum width of 16 feet from the edge of public roadway pavement to the garage of each home.
39. A landscaping plan, including design of a permanent irrigation system, shall be submitted to and approved by the Planning Director. Said approved landscape and irrigation plan shall be implemented prior to receiving a final inspection for any house constructed within the subdivision. All landscaping is subject to the requirements for landscaping contained herein these conditions and with City Standards. Landscaping shall include an irrigation system for both the front-yard and the street side-yard (where applicable) provided the street side-yard is not obscured from sight from an adjacent street by fencing, for each lot within the

subdivision. Landscaping shall comply with current State guidelines for residential landscaping.

40. Fiber Optic Installation for Dwelling Units: Owner agrees to install in each dwelling unit the following fiber optic requirements:
- a. Install a Dedicated City Fiber Enclosure adjacent to the other utility enclosures or a Common Communication Enclosure (collectively “Utility Enclosure”) for the proposed communications utilities (phone, cable, fiber, etc.). The enclosure type shall be Benner-Nawman 14326W-UL or as approved by the City. The Utility Enclosure may face the garage exterior or interior and shall include one 120-volt, 15-amp convenience receptacle inside the enclosure mounted on either side of the wall. A surge-protected receptacle must be installed or verification that an equivalent surge protection device (SPD) has been installed as an integral part of the service equipment or located immediately adjacent to the service equipment to be in accordance with article 230.67 of the California Electrical Code.
 - b. Install a wireless-transparent Structured Media Enclosure (“Media Enclosure”), such as models: Legrand 30” ENP3050, Legrand 42” ENP4250, Leviton 30” 49605-30W, Primex Verge 30” P3000, 42” Primex Verge P4200, or as approved by the City. The Media Enclosure shall be installed in the wall of a master bedroom closet or a laundry room furthest from the water supply and maintain a minimum 48-inch horizontal clearance between and 24-inch clearance above any metallic appliances or accessories. The Media Enclosure shall include one 120-volt, 15-amp convenience receptacle located inside the enclosure.
 - c. Install a conduit pathway from the Utility Enclosure to the Media Enclosure with a minimum of one (1) 1-inch diameter non-metallic, flexible conduit which shall maintain a minimum 36-inch bend radius and protrude a minimum of 6-inches into the enclosures. The conduit shall be marked with orange Tyvek or plastic tags, labeled “City Fiber Use Only”, 661-746-5000”, tie wrapped to the conduit in plain view within the enclosures.
 - d. Install a continuous conduit without breaks or couplings from the existing City Fiber Distribution Enclosure located in the right-of-way (“Distribution Enclosure”) to the bottom side of the Utility Enclosure. The conduit shall be installed a minimum of 36-inches below grade, protrude a minimum of 12-inches into the Utility Enclosure, be orange in color, and be factory labeled “City of Shafter 661-746-5000”. If the conduit does not have an integrated tracer wire, a continuous external #12 AWG solid-conductor tracer wire with high-density polyethylene insulation rated for direct burial shall be installed along with the conduit leaving a minimum 15-feet of slack coiled in the Distribution Enclosure and 3-feet of slack coiled in the Utility Enclosure. The conduit and tracer wire shall be inspected by a City of Shafter representative before shading and backfilling.
 - i. After backfilling, polyester cable pulling tape (Muletape), or equivalent, shall be installed in all conduit paths between the Distribution Enclosure and the Utility Enclosure. Mule tape shall be slack (no tension) and fastened to the plug or cap.

- ii. Couplings shall be used to repair damaged or short-length conduit only if approved by the City. Conduit couplings shall be an air-tight, water-tight, push-on compression fitting approved by the City. Tracer wire couplings shall be air-tight, water-tight, twist on or compression connector approved by the City. Coupling integrity shall be inspected by a City of Shafter representative.
- e. Category 6 Unshielded Twisted Pair (CAT 6 UTP) cable (or as approved by the City) shall be installed according to industry standards and the requirements below, and shall not be pinched, stapled, bent sharply, or crossing any sharp, unprotected edges:
 - i. Install a minimum of two (2) cables from the Utility Enclosure to the Media Enclosure.

ENGINEERING

- 41. Developer shall remove and replace any existing public or private improvements that may become damaged during any phase of construction, as required by the City Engineer. The contractor working within the public right-of-way shall obtain an encroachment permit from the City Engineer prior to commencing any such work.
- 42. Developer shall relocate and/or install all necessary infrastructure to provide utilities to the proposed project.
- 43. A ten (10) foot public utility easement, as shown on the tentative map, shall be provided in the front of all lots and on the street side of all corner lots/reverse corner lots as requested by the utility companies and the City Engineer. Easements shall be granted with the final map. Easements must also be shown on individual site plans during building permit application review.
- 44. Pedestrian easements shall be provided wherever sidewalks and other public walking paths are to be constructed outside the proposed public rights-of-way. The minimum width of the pedestrian easements shall be one (1) foot.
- 45. Easements to be given to the City or any other public utility agency for sewer, water, storm drain, electrical, or any other utility or similar purpose shall not cross private property without prior approval of the City Engineer.
- 46. Any above-ground utility cabinets or facilities to be located within the road right-of-way or public utility easement shall be permitted only upon approval by the City Engineer. Such approval will be made in writing, upon written request of the applicant and/or the affected utility company.
- 47. Any obstructions including utilities, irrigation lines, etc., shall be removed and/or relocated, if necessary, at the expense of the Developer.
- 48. No final inspection shall be approved until all required improvements have been completed by the applicant and accepted by the City of Shafter.
- 49. All new utilities shall be underground service.

50. During construction, vehicular access points shall be covered with decomposed granite, road oil, or some other treatment acceptable to the City Engineer, to prevent generation of dust during periods of vehicular activity and/or windy conditions and tracking of mud and dirt on public roadways.
51. Prior to the issuance of a Certificate of Occupancy on any lot of Tract No. 7461, all required improvements shall be completed and accepted by the City of Shafter. Required improvements shall be those improvements necessary to provide adequate City Services to the subject lot as determined by the City Engineer.
52. All improvements shall be complete within one (1) year from the date of filing of the final map for the development unless a time extension is granted by the City Engineer. The timing of improvements shall be subject to approval of the City Engineer.
53. Type and location of centralized mail delivery units shall be determined by the postal service. If the postal service requires special easements for the placement of the delivery units, then said easements shall be shown on the final map.
54. All road, landscaping, trail, sidewalk, block wall, and paseo improvements, required by and consistent with Tract No. 7461 and the Mission Lakes Specific Plan, shall be constructed by the Developer and approved by the City of Shafter prior to recordation of the final map or shall be included as a public improvement in the subdivision improvement agreement. Wall plans, materials, and dimensions shall be consistent with the requirements of the Mission Lakes Specific Plan and Tentative Tract No. 7461 and shall be approved by the City of Shafter prior to construction. The timing of improvements shall be subject to approval of the City Engineer.
55. Developer shall place the entire subdivision within a new or add to an existing Community Facilities District prior to recordation of the final map and prior to acceptance of improvements by the City of Shafter. The maintenance district shall be set-up to cover the cost of street lighting, drainage basin maintenance, landscaping maintenance, and/or park maintenance, as well as all administrative costs associated with the City of Shafter's management of the District.
 - a. The Developer shall be required to cover the cost of street lighting, maintain all landscaping, park maintenance, including the replacement of any trees or shrubs that do not survive, within public right-of-way and landscape easements for a period of one (1) year after final inspection of the landscape improvements, or until such time as the maintenance district is formed, whichever shall occur last.
 - b. Developer shall be fully responsible for the formation, and formation cost of the Community Facilities District, as directed by the City Engineer.
 - c. Developer shall be fully responsible for paying the cost of water for all landscaping and electricity for the streetlights until such time as the maintenance district is formed.

56. Engineered plans and building permits are required for all block walls greater than 6 feet in height.
57. Developer shall design and install a system of conduits, terminal enclosures, distribution enclosures, splice enclosures, connection points, and hand holes for a fiber optic network to each buildable lot within the development. Design and material specifications are available from the City of Shafter. Plans shall be submitted to and approved by the City of Shafter, prior to recordation of the final map, showing the proposed utility trench and all appurtenant hardware. The design shall include the following minimum specifications:
 - a. A combination of fiber optic conduits shall minimally include 4" SDR-11 HDPE, 2" SDR-11 HDPE, 1.25" SDR-11 HDPE, and 7-Way bundled HPDE innerduct with attached tracer wire. Fiber optic conduits may be joint-trenched with other utility company pipes and/or conduits.
 - b. All underground fiber optic conduits, innerduct bundles, etc. shall be factory-labeled "City of Shafter 661-746-5000". Conduits shall be identified by a permanent marking, with the address number of the residence they serve, within the distribution enclosures.
 - c. All underground fiber optic conduit paths shall have tracer wire. If the conduit does not have an integrated tracer wire, a continuous external #12 AWG solid-conductor tracer wire with high-density polyethylene insulation rated for direct burial shall be installed along with the conduit leaving a minimum 15-feet of slack coiled in the endpoint enclosures.
 - d. The ends of all fiber optic conduits and innerducts shall be plugged or capped to prevent dirt, debris, or foreign objects from entering.
 - e. After backfilling, all conduits shall be checked for obstructions, and re-excavated and repaired or replaced as required. All conduits ½-inch or larger shall require polyester cable pulling tape (Muletape) or equivalent installed. Polyester cable pulling tape (Muletape) shall be slack (no tension) and fastened to the plug or cap. Innerducts shall be mandrel tested and are subject to inspection by a City of Shafter representative.
 - f. A combination of underground utility enclosures shall minimally include 36"W x 60"L x 36"D polymer concrete enclosures with dual torsion covers, 36"W x 36"L x 24-36"D and 24"W x 36"L x 24-36"D High Density Polyethylene (HDPE) enclosures.
 - g. All underground utility enclosures shall be factory-stamped "City Fiber".
58. Prior to construction, all improvement plans and landscaping plans shall be approved by the City of Shafter.
59. The side-yard fences constructed along local streets shall consist of a masonry block retaining wall, or other material as approved by the City Engineer, topped with a wooden fence. Sufficient area behind the sidewalk shall be provided to accommodate the installation of community mailboxes, where required by the US Postal Service.
60. The final subdivision map proposed for recordation shall be in substantial conformance with the approved tentative map or any approved alterations thereafter.

ENGINEERING: GRADING & DRAINAGE

61. Prior to review of any required improvement plans, both a drainage/hydrology study and a grading plan shall be submitted to and approved by the City Engineer. A master grading plan covering Tract No. 7461 shall be submitted and approved. Future development plans shall be based upon the approved master plan. Any deviation from the approved master plan will require the approval of the City Engineer.
62. The drainage/hydrology study and hydraulic analysis for the project shall be performed by a registered civil engineer and submitted to the City Engineer for review and approval. The study shall demonstrate that any potential run-off will not impact surrounding properties. The study shall focus on the project property and any affected adjacent properties.
63. A soils report, prepared by a registered civil engineer shall be submitted along with the grading plan. Soils report shall be performed in compliance with the latest edition of California Building Code, Chapter 18. In addition, all site grading, earthwork and building design shall be performed in accordance with the recommendations of the soils report.
64. A grading permit shall be obtained from the City prior to commencement of any grading activity.
65. Prior to issuance of a building permit, the Developer shall file a “Rough Grade Certificate” with the City in accordance with the City Engineering Design Standards. Rough Grade Certificate shall be accompanied by certified soil compaction test data from an acceptable materials testing company and a certificate that the rough grade is in substantial conformance with the approved grading plan and Chapter 15.28 of the Shafter Municipal Code. Developer to obtain “Rough Grade Certificate” form from the City.
66. Prior to final approval, acceptance of work, or issuance of Certificate of Occupancy, the Developer’s engineer shall file a “Final Grade Certificate” stating that all required grading has been done in accordance with the approved grading plan. Developer to obtain “Final Grade Certificate” form from the City.
67. The location and frequency of soils compaction testing shall be per the City Engineer. Soils compaction testing shall be provided by the Developer.
68. Minimum slopes across any flat surface shall be 1%. For slopes less than 1%, surface drainage shall be channeled into a concrete v-gutter, curb and gutter, underground storm drain, or similar drainage structure.
69. All building pads shall provide a minimum of 2% slope away from each house to an earth swale, and a minimum of 1% from the highest point in the swale to the street. A four-inch landscape drain may be used to replace the earth swale. The minimum pad height shall be twelve (12) inches above the adjacent curb.
70. Street side corner lots shall not have their side yard slope (finish grade to back of sidewalk) exceed 4 horizontal: 1 vertical. If maximum slope is exceeded, side yard shall be retained in an approved manner.

71. Wood retaining structures shall not be approved. Developer shall use masonry, keystone, concrete, or other approved material.
72. Engineered off-site drainage plans for Tentative Tract No. 7461 shall be submitted to and approved by the City of Shafter prior to recordation of the final map. The approved drainage facilities shall be constructed and approved by the City of Shafter prior to issuance of building permits.
73. All storm drain pipes and manholes shall be installed with the street paving. Catch basin shall be installed per city standards.
74. Drainage Basin:
 - a. Developer shall construct a drainage basin on Lot F as shown on the Tentative Tract Map No. 7461. Developer shall provide calculations showing all drainage areas utilizing the basin, and show the percentage of the capacity utilities due to Tract No. 7461.
 - b. Developer shall construct permanent masonry walls around the proposed drainage basin on Lot F with a 16' access controlled by a gate.
75. The number and location of street-based siphons and cross gutters allowed, if any, will be determined during the grading and drainage review process. The minimum grade for allowed cross gutters shall be 0.6%.
76. Grading onto adjacent property shall not be done without written permission from the adjacent property owner.
77. The Office of the City Engineer shall be notified 24 hours in advance of the placement of any fill material.
78. Fill and/or import material shall be subject to the approval of the soils engineer.
79. Developer is responsible for the grading of lot pad areas to within 0.1 foot of the design elevations.
80. All areas in the site on which structures are to be placed must be compacted to 90% relative density, for a minimum distance of 5-feet in all directions from the foundations of the structure.
81. All fill material shall be moisture conditioned to at least 2% above optimum moisture and compacted to 90% relative density, as determined by test methods referenced in Chapter 15.28 of the Shafter Municipal Code, and so certified by test and report from the soils engineer.
82. The design engineer shall exercise sufficient supervisory control during grading operations to ensure compliance with the plans, specifications, and code within his purview.

83. The placement of fill shall be in 6-inch-maximum lifts, compacted with heavy compaction equipment approved by the City Engineer, unless specifically recommended otherwise in the preliminary soils report.
84. Compaction in proposed pavement areas should be per City standards and should extend to a minimum distance of 2-feet beyond the outside edges of pavement.
85. All cut and fill slopes shall not be steeper than 2 horizontal to 1 vertical.
86. All fill areas to be cleared of all vegetation and other unsuitable materials for a structural fill and the areas shall be scarified to a depth of 6-inches, unless specifically noted otherwise in the preliminary soils report.
87. All slopes in excess of three (3) feet shall be prepared and maintained to control against erosion.
88. Grading work shall be supervised as engineered grading in accordance with Chapter 15.28 of the Shafter Municipal Code.
89. During grading, reasonable searching should be performed for concealed subsurface obstructions. All abandoned subsurface obstructions should be removed. If terminus of any abandoned piping is outside the project limits, the piping should be removed within the project and properly capped at the project boundary.
90. Developer's attention is directed to the provisions of SJVAPCD's Regulation VIII - Fugitive PM 10 Prohibitions, which requires the submission of a Dust Control Plan for certain construction projects. Developer shall comply with all applicable SJVAPCD rules and regulations including the submission of a Dust Control Plan as may be applicable. Current SJVAPCD rules and regulations are available online at <http://www.valleyair.org/rules/1ruleslist.htm>.
91. It shall be the Developer's responsibility to prevent a dust nuisance from originating from the site of the work as a result of his operations. Preventative measures to be taken by the Contractor shall include but shall not be limited to the following:
 - a. Water shall be applied to all unpaved areas as required to prevent the surface from becoming dry enough to permit dust formation.
 - b. Paved surfaces over which vehicular traffic is permitted to travel shall be kept free of dirt.
 - c. Temporary suspension of the work, either as a result of order by the Engineer or as a result of conditions beyond the control of the Contractor shall not relieve the Contractor from his responsibility for dust control as set forth herein.
92. Any temporary drainage basin serving the subdivision shall be surrounded with a chain link fence with privacy slats.

ENGINEERING: WATER/FIRE

93. The Developer shall install two water systems for the project together with such equipment, pipeline, and facilities, including individual water services, as may be necessary to ensure the development has a minimum supply of water for the purposes of the development including fire protection. One water system shall be developed exclusively for drinking or domestic water service. The other shall be for irrigation of lawns, parks, and common landscape area and be provided by either existing or new wells. Developer shall submit water improvement plans to the City Engineer and Oildale Mutual Water Company for review and approval. Developer shall construct the public water system in accordance with Subdivision Engineering Design Manual for the subject property. The dual water system shall be constructed by the Developer and approved by the City of Shafter and Oildale Mutual Water Company prior to recordation of the final map.
94. To the greatest extent possible, above ground air-vac or air release valves required by Oildale Mutual Water Company shall be in public landscaping or entrances to Natural Trail areas, and not along residential property frontages. This requirement is subject to the approval of Oildale Mutual Water.
95. To the greatest extent possible, wet utilities (sewer, water, storm drain) shall be installed between the flowlines on all streets.
96. Fire protection shall be provided per Kern County Fire Department Standards for the type of development. A Certificate of Approval shall be obtained by the Developer from the Kern County Fire Department. Evidence of this Certificate of Approval shall be provided to the City prior to acceptance of the water system by the City.
97. Prior to installation, all water improvement plans shall be reviewed and approved by the Kern County Fire Department. The review includes hydrant locations and access into and out of the tract. A plan review permit, obtained from the Kern County Fire Department, must be applied and paid for prior to the review of any modified or new tract map.
98. The water line size, location and materials shall be subject to the approval of the City Engineer. The minimum water line size shall be in accordance with the Subdivision and Engineering Design Manual.
99. Tie-ins to existing water mains shall be constructed in a manner approved by the City Engineer.
100. Whenever possible, the water system shall be looped to minimize dead ends.
101. Separate dual water services shall be installed for each residential property.
102. No permanent structures shall be constructed over proposed or existing utility easements.
103. Prior to issuance of a building permit, water mains and fire hydrants to be installed by applicant shall be completed, tested, and accepted (CFC).

104. The Developer shall provide AWWA approved fire hydrants that comply with Kern County Development Standards (Clow 850 or equivalent).
105. The required fire hydrants shall be placed a maximum of 660 feet apart throughout the tract for firefighting purposes. Final hydrant locations shall be approved by Kern County Fire prior to installation.
106. The Developer shall install reflective markers to identify hydrant locations pursuant to California Health and Safety Code 13060.
107. The required fire hydrants shall provide a minimum fire flow of 1,500 gallons per minute for 2 hours with 20 PSI residual, as determined by the Kern County Fire Department.
108. The water system for the required fire hydrants shall be looped, if practicable.
109. The Developer shall install the required water, access and street signs prior to issuance of any building permit.
110. A fire flow test shall be performed and approved by the Kern County Fire Department prior to issuance of any building permit and before any Certificates of Occupancy are issued. The Kern County Fire Department shall be contacted for a fire flow test and approval prior to the commencement of construction.
111. All fire access roads to each parcel must meet specifications set forth in Section 503.2 of the California Fire Code and the applicable Appendix and Ordinance sections.
112. All new residential construction will require automatic fire sprinklers and shall meet all other fire requirements of the California Fire Code.

ENGINEERING: SEWER

113. No properties shall be served by a septic system.
114. Developer shall install a sewer system for the development together with such materials, pipelines, manholes, and individual services for the purposes of the development. Developer shall submit sewer improvement plans to the City Engineer for review and approval prior to recordation of the final map. Developer shall construct the public sewer system in accordance with the Shafter Subdivision Engineering Design Manual for the subject property.
115. Sewer line size, location, slope, and materials shall be subject to the approval of the City Engineer. Minimum sewer line size, location, slope, and materials shall also be in accordance with the Subdivision and Engineering Design Manual.
116. Tie-ins to existing sewer mains, manholes, or other structures shall be constructed as directed by the City Engineer.

117. Sewer pipelines and manholes shall be installed within the proposed street paving of the development.
118. Separate sewer services shall be installed for each property. At no time shall sewer be joint trenched with water.
119. Sewer lines shall not be permitted in easements between the backyards or side-yards of residential lots.
120. No permanent structures shall be constructed over proposed or existing utility easements.

ENGINEERING: STREET & TRAFFIC

121. Developer shall construct and provide rights-of-way for all streets, curb, gutter, cross gutter, drainage facilities, sidewalks, walls, landscaping, streetlights, drive approaches, intersections, and other related improvements consistent with Tentative Tract No. 7461 and the Mission Lakes Specific Plan. Developer shall submit street improvement plans prepared by a registered civil engineer to the City Engineer for review and approval and shall include: Preliminary soils report, preliminary engineer's estimate of construction costs; and plan check and inspection fees.
122. Additional rights of way easements or dedications necessary for street and/or public utility improvements located outside the tract boundary shall be granted to the City of Shafter prior to map recordation.
123. The drawings shall include all proposed public street pavement, curb, gutter, driveways, streetlights, cross gutter, catch basins, striping, signage, traffic signals, and sidewalks along the perimeter of all streets adjacent to or within the project site. Said improvements shall be constructed as per the street improvement plans approved by the City Engineer in a manner consistent with the Subdivision and Engineering Design Manual.
124. All local streets shall be developed as full-width streets in accordance with standards and specifications of the Mission Lakes Specific Plan and the City of Shafter, as approved by the City Engineer. All local streets shall be fifty-two (52) feet full right-of-way with forty (40) feet flowline to flowline.
125. Additional Street Requirements:
 - a. Developer intends to continue to use a modified 4.5-inch wedge shaped curb along home frontages similar to City of Fresno Standard P-9. City of Shafter agrees to the use of this 4.5-inch wedge shaped curb provided Developer supplies a slip form for a 4.5-inch wedge shaped curb that is consistent with the City of Shafter standard 6-inch curb. Final dimensions are subject to City of Shafter approval. It is the intention of the City to develop a City curb and gutter standard based on this wedge shape curb to better comply with ADA regulations on home frontages. This modified curb shall be used on residential lot frontages only.

- b. Mission Lakes Boulevard shall be constructed to its full flowline to flowline width along the tract boundary. Sidewalk, landscaping, and wall improvements may be deferred along the north side of Mission Lakes Boulevard until those areas are developed.
 - c. Lakes Road shall be constructed to its full flowline to flowline width along the tract boundary. Sidewalk, landscaping, and wall improvements may be deferred along the east side of Lake Road until those areas are developed.
126. Should a street transition to another street with a ninety (90) degree turn occur, that transition shall be a street knuckle and shall be shown on the final tract map and in the street improvement plans.
 127. Cul-de-sac and street knuckle dimensions and radii to conform to the Subdivision and Engineering Design Manual and/or as approved by the City Engineer. The use of off-set cul-de-sacs is approved provided they meet the requirements of the City of Shafter.
 128. Street signs shall be installed per City standards as required by the City Engineer.
 129. During construction, the Developer shall maintain the project, including all adjacent streets in a dust free condition. This condition applies at all times including weekends, evenings, and nighttime hours. During construction operations, cleanup of soil from the public roadways shall be required, if deemed necessary, by the City Engineer.
 130. All utilities proposed under paving shall be installed prior to paving. Cover over utilities shall be at a depth as approved by the City Engineer.
 131. Driveway approaches shall be constructed in a manner consistent with the requirements for residential approaches as set forth in the City's Subdivision and Engineering Design Manual or as permitted by the City Engineer.
 132. Sidewalk, including curb, shall be five (5) feet wide and shall be placed behind the curb, or as specified by the Mission Lakes Specific Plan. Transitions at intersections and wheelchair ramps shall be provided and installed per the City's Subdivision and Engineering Design Manual.
 133. Monument and monument covers shall be set per City Standards.
 134. Temporary turnarounds, if required, including right-of-way, shall be granted, designed, and installed per the Subdivision and Engineering Design Standards.
 135. Property line locations shall be marked with a chiseled line on the top of curb for all property lines. The location of all sewer laterals shall be indicated on the top or face of curb with a stamped "S".
 136. Street lighting shall be installed in accordance with the City Engineering and Subdivision Design Manual as directed by the City Engineer. Developer shall coordinate with Pacific Gas & Electric to ensure that the streetlights are established under the LS-2A rate schedule.

137. Secondary access easements shall be provided at the request of the City Engineer. Within any given phase of development, secondary access easements and improvements shall be provided in a manner approved by the City Engineer. Access roads shall be twelve (12) feet in width and shall consist of three (3) inches of Class II aggregate base over six (6) inches of native material compacted to 90% relative maximum density.
138. The Developer shall install a traffic signal at the intersection of 7th Standard Road and Lake Road. Prior to recordation of the final map, the Developer shall bond for this traffic signal. The certificate of occupancy will not be issued to even a single lot in Tract No. 7461 until the traffic signal is installed and made fully operational and the Developer shall disclose this to the prospective buyers.
139. Waivers of direct access shall be dedicated and shown on the final map as approved on the tentative map, subject to change by request of the City Engineer.
140. A street permit shall be obtained from the City of Bakersfield for any work to be completed within the City of Bakersfield's right-of-way, prior to the commencement of such work.
141. The Developer shall construct a secondary access from 7th Standard Road to Tract 7461 pursuant to the City of Shafter's Engineering and Design Standards prior to the issuance of a building permit for the 200th dwelling unit within Tract 7461.

ENGINEERING: LANDSCAPING

142. Electrical Source for Landscaping:
 - a. Developer shall supply and install landscaping electrical services to power any and all required timers, solenoids, pumps, motorized equipment. Cabinets and meter pedestals shall be approved by the City of Shafter. Developer shall contract with Pacific, Gas & Electric the location of each pedestal and make all arrangements for them to deliver power at each location.
143. Water Source for Landscaping:
 - a. Landscaping water service point of connection shall be approved by the City Engineer. The water source shall be from the non-potable water system installed with the tract.
144. Landscaping Enclosure:
 - a. Landscaping timers, electrical service fuses, breakers, etc., shall be installed within a commercial grade landscaping enclosure.
 - b. Commercial grade landscaping enclosure shall be installed within the dedicated landscaping area adjacent to the water source and/or electrical source.

- c. Commercial grade landscaping enclosure shall be installed on a concrete foundation poured onto a minimum of six (6) inches of native subgrade compacted to 90% (or in accordance with manufacturer's recommendations, whichever is more stringent).
 - d. The City of Shafter Subdivision and Design Manual requires a 110-volt duplex electrical service within the enclosure.
145. The Developer shall comply with all requirements for grading and erosion control, including the prevention of sedimentation or potential damage to off-site property.
146. Sleeves shall be placed under the proposed paving for landscape piping or low voltage electrical per the City Engineer.
147. Natural trails proposed for Tract No. 7461 shall have a minimum six-(6) foot-wide tread path composed of decomposed granite or some other ADA compliant surfacing. The path of the natural trail shall gently meander between the walls in a manner approved by the City. The trail grade shall be 0.50 ft. higher than landscape grade. Cross slope in the tread path shall not exceed ADA standards. Grade from the tread path to the landscaped grade shall not exceed 4:1.
148. Natural Trails shall be lit to an average foot-candle of 0.5 foot-candle. The purpose is to provide a minimum amount of light for usage at night. Natural trails may be lit with a combination of pole mounted lights, bollards, or similar devices. Wall mounted lights will be prohibited. Pole mounted lights shall not direct light into the residential lots or structures. The lighting shall be located near the Natural Trail edges so as to not be obscured by landscaping, proposed or future.
149. Landscaping within the Natural Trail shall be approved by the City. Separate plan sets shall be provided for Natural Trail landscaping in a manner similar to public landscaping along arterials, collectors, or other public areas. Plans shall show locations of water and electrical services necessary to serve the landscaping and lighting needs of these areas.
150. Natural Trail lots shall be equipped with a minimal number of benches, trash receptacles, water fountains, picnic tables, etc. Details shall be worked out with the City during Natural Trail plan review and approval.
151. Bollards or other effective obstructions shall be placed where the Natural Trails touch public street improvements. Bollards shall also be required at the ends of cul-de-sacs opening where openings in the masonry wall are proposed.
152. Developer shall deed the public landscaping/natural trail lot (Lot E) to the City of Shafter within 60 days of recordation of the Notice of Completion for Tract No. 7461.

ENGINEERING: SUBDIVISION IMPROVEMENT AGREEMENT

153. The Developer shall furnish the City of Shafter acceptable security to guarantee the construction of public improvements in accordance with all applicable provisions of the City of Shafter Municipal Code and the State Subdivision Map Act. The Developer may

enter into a subdivision improvement agreement with the City of Shafter for public improvements that are not completed at the time of Final Map approval. The subdivision improvement agreement must be approved by the City Council and recorded with the Kern County Assessor-Recorder.

**CALIFORNIA DEPARTMENT OF CONSERVATION – GEOLOGIC ENERGY
MANAGEMENT DIVISION (CDC-CALGEM)**

154. All four wells within Tract 7461, as shown on the approved tentative map, prior to, or during, development activities shall be tested by the Developer for liquid and gas leakage. Surveyed locations should be provided to CalGEM in Latitude and Longitude, NAD 83 decimal format. Any wells found leaking must be reported immediately to CalGEM by the Developer.

155. No well work may be performed on any oil, gas, or geothermal well by the Developer without written approval from CalGEM. Well work requiring approval includes, but is not limited to, mitigating leaking gas or other fluids from abandoned wells, modifications to well casings, and/or any other re-abandonment work. The Developer must acquire any required approval from CalGEM prior to commencing any well work. The Division also regulates the top of a plugged and abandoned well's minimum and maximum depth below final grade. CCR §1723.5 states well casings shall be cut off at least 5 feet but no more than 10 feet below grade. If any well needs to be lowered or raised (i.e. casing cut down or casing riser added) to meet this regulation, the Developer must acquire the necessary permit from the Division before commencing work.

~~156. To ensure that the future property owners of Tract 7461 Lots 155, 156, 259, and 260 are aware of the existence of all wells located on the subject property, and the potentially significant issues associated with any improvements near oil or gas wells, the Developer shall communicate to the Kern County Recorder the proximity and location of the 10-foot non-buildable buffer around the existing, identified wells affecting these lots, for inclusion in the title information of Tract 7461 Lots 155, 156, 259, and 260. The Developer shall have this disclosure conveyed in a recorded covenant or an alternative recorded document affecting title information prior to the Notice of Completion for Tract 7461. A copy of the recorded documents affecting the title information of the aforementioned lots shall be provided by the Developer to the Planning Department.~~

~~157.156. The Division recommends that any soil containing hydrocarbons be disposed of in accordance with local, state, and federal laws.~~ The Developer shall notify the appropriate authorities if soil containing significant amounts of hydrocarbons is discovered during development. Any soil containing significant amounts of hydrocarbons shall be disposed of in accordance with local, state, and federal laws.

~~158.157.~~ If during development activities, any wells are encountered that were not part of this review, the Developer/property owner is expected to immediately notify CalGEM's construction site well review engineer in the Inland district office, and file for Division

review an amended site plan with well casing diagrams. The District office will send a follow-up well evaluation letter to the property owner and local permitting agency.

NORTH OF THE RIVER RECREATION AND PARK DISTRICT

~~159.158.~~ Prior to ~~60% occupancy recordation of a final map~~, the subdivider shall dedicate land with free and clear title to North of the River Recreation and Park District based on a park land dedication requirement of 2.5 acres per 1,000 population in accordance with Chapter 15.80 of the Bakersfield Municipal Code. ~~If the number of dwelling units increases or decreases upon recordation of a final map(s), the park land requirements will change accordingly.~~ Prior to recordation of a final map, the subdivider shall enter into an agreement with North of the River Recreation and Park District to implement and satisfy this condition. This subdivision is located within the boundaries of the North of the River Recreation and Park District.

- a. Subdivider shall dedicate 2.69 acres

~~160.159.~~ Prior to ~~60% occupancy recordation of any final map~~, the subdivider shall record a covenant on the property disclosing the requirement to dedicate/reserve a public park pursuant to a park agreement with the North of the River Recreation and Park District. Covenant shall be reviewed for approval by the North of the River Recreation and Park District prior to recordation.

~~161.160.~~ All park sites shall be improved to North of the River Recreation and Park District requirements/Standards via an agreement with North of the River Recreation and Park District and the subdivider. Said agreement shall include the scope and timing of the development of the park site.

~~162.161.~~ ~~Prior to recordation of any final map, the~~ The subdivider shall record a covenant notice on all lots of the subdivision disclosing the potential for light, glare, traffic and noise disturbances associated with the operations of the existing park site. Covenant Such notice shall be reviewed for approval by North of the River Recreation and Park District and submitted to City Planning prior to recordationshown on the title sheet of the Final Map.

~~163.~~ ~~Prior to recordation of a final map, the subdivider shall provide the Planning Department written proof/verification from North of the River Recreation and Park District that said project is within the NOR Park Maintenance District.~~

~~164.162.~~ Subdivider shall be responsible for improving streets adjacent to the park site to City standards.

~~165.163.~~ As an alternative to dedication and transfer of the public park to the North of the River Recreation and Park District, and subject to authority granted in state law, Developer may request the City consider alternative arrangements for the dedication and transfer of the public park, as authorized by state law, either to the City of Shafter or a combination of the City of Shafter and the North of the River Recreation and Park District. Such alternative arrangements shall be memorialized in an agreement approved by the City of Shafter and the North of the River Recreation and Park District, prior to acceptance of all improvements by the City of Shafter (except for the issuance of a certificate of occupancy for model

homes). Nothing contained herein shall obligate the City or the North of the River Recreation and Park District to accept such alternative dedication and transfer.

2005 GENERAL PLAN UPDATE MITIGATION

~~166.164.~~ If a special-status species is observed during the development of the tract, then a focused species survey shall be completed. If a special-status species is found to be present during the survey, then appropriate mitigation measures shall be implemented in compliance with applicable state and federal law and guidance.

~~167.165.~~ If human remains are encountered during the development of the tract, then no further disturbance shall occur until the Kern County Coroner has determined the origin and disposed of the remains.

~~168.166.~~ Standard construction activities shall be limited to between 7 am and 7 pm Monday through Friday and no construction shall be allowed on weekends or holidays without prior authorization by the City.

~~169.167.~~ If pile-driving activities occurs during the development of the tract, then such activity shall be limited to between 8 am and 4 pm Monday through Friday and no construction shall be allowed on weekends or holidays without prior authorization by the City.

~~170.168.~~ If existing neighbors are located within 300 feet of the tract boundary, then 30-day notice is required prior to any pile-driving activities.

~~171.169.~~ Signs shall be posted at the construction site that include permitted construction days and hours and a day and evening contact number.